

REGAN YOUNG ENGLAND BUTERA

REFERENDUMS • ENGINEERING • ARCHITECTURE • DESIGN

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ADDENDUM - 01

DATE:.....01 December 2020

FROM:.....Scott Charles England, AIA

VIA: Facsimile

SUBJECT:

ADDENDUM #1

PARTIAL HVAC RENOVATION-MARY
SHOEMAKER SCHOOL

RYEB Project #5652Aa

This addendum is issued to clarify, correct or supplement the Documents as originally issued and will become a part of the Contract. Receipt thereof shall be acknowledged by Bidders in space provided in the Form of Bid. Failure to acknowledge this Addendum on the official Form of Bid may be cause for rejection of Bid.

- 1.01. **Amendment:** Remove original drawings and replace sheets CS, A000, A100, A102, and A200, with the attached amended drawings, with revision dates of 27 November 2020.
- 1.02. **Bidder's Question:** Is a Contractor field office required? **Response:** A Contractor's field office is not required; however, the Contractor is fully responsible for the safe and secure storage of all materials and equipment. No Contractor materials and equipment shall be stored inside the building while school is in session.
- 1.03 **Bidder Question:** Can you please provide the existing window make and model for the new sub-frames? **Response:** No information exists regarding the existing windows. Contractor shall fully investigate the existing conditions and assume a custom subframe may be required to secure the existing window to the new masonry walls. Contractor to seal the new subframes to the new masonry with silicone (color to match adjacent sealant) and ensure watertight integrity.
- 1.04 **Bidder Comment:** The Equipment key on A102 has text over the key. **Response:** Drawing sheet A102 has been replaced and is included as part of this Addendum.
- 1.05 **Bidder Question:** Is third party testing required for the steel and concrete? If so, who is responsible for the cost? **Response:** Please review the Quality Assurance Notes on drawing S1 and all notes on S1. The Contractor is responsible for providing third-party, independent testing of the steel connections and concrete in conformance with the project specifications, Code and requirements.

Amend Quality Assurance Note #1, sixth sentence to eliminate the words, "*if required by the Owner*". Testing and inspections are required.

- 1.06 **Clarification:** Due to concerns about potential equipment and material supply chain disruptions due to COVID-19, the Contractor shall not render any ventilation unit or system inoperative until the students and staff leave the building for summer recess. Furthermore, the existing ventilation intake louvers shall not be modified per the details until the new vertical unit ventilators arrive on site.
- 1.07 **Clarification:** The Owner reserves the right to remove any existing roller shades off windows before they are demolished. Otherwise, the Contractor shall remove and replace. Further discussion at Topic 1.13.

- 1.08 **Clarification:** Atlantic City Electric (ACE) has provided additional details and requirements for the concrete slab for the new transformer pad. The concrete pad, and all ACE requirements shall be constructed by the Contractor and in full accordance with ACE's requirements. Refer to attached sketch entitled, "Customer's Transformer Pad for 3-Phase Pad Mount", consisting of three pages total.
- 1.09 **Clarification:** Reference is made to Detail B/E.01, entitled "Ductbank Detail" on drawing E.01.
- Contractors shall be aware that a drainage swale exists between the electrical pole on East Millbrooke and the new transformer location. All conduits and duct bank shall be installed in a manner to maintain the proper minimum clearances as shown on the documents in accordance with the requirements of Atlantic City Electric.
- Refer to attached sketch Swale Image Detail, SKE-2020-11-30-1, prepared by Kelter & Gilligo.
- 1.10 **Bidder Question:** Question: Drawing S2 and S3 do not show Alternates. Is everything shown on these drawings also part of the Base-Bid? **Response:** The structural work required on drawings S2 and S3, are designed to support the new mechanical units and equipment.
- Therefore, if a particular alternate shown on the mechanical drawings is not accepted by the Owner, then the related structural work supporting that mechanical Alternate is not required.
- Conversely, if a particular alternate is accepted by the Owner, then that structural supporting work shall be required to support the mechanical work for that Alternate.
- Bidders shall carefully follow the mechanical drawings and Key Plans, and the architectural drawing Key Plans, showing the details and breakdowns for areas of Base-Bid and Alternate Bid work. The structural work is to be split up into the same alternates shown of the mechanical and architectural drawings.
- 1.11 **Amendment:** Delete the note, "Preliminary-Not for Construction" on all structural drawings. The structural drawings included in the bid set are final drawings.
- 1.12 **Clarification:** All new steel angles in exterior walls shall be galvanized steel.
- 1.13 **Bidder Question:** Drawing A000, Note #17-this note is to remove and reinstall the window shades. Just want to confirm this is only as needed to perform our work. **Response:** Correct. The intent is to only remove what is required to be removed (if any) for the Contractor to conduct their work. Please review Topic 1.07 for related information where the new masonry walls will be constructed.
- 1.14 **Bidder Question:** Can you please quantify how many 16 x 16 plenum openings above the ceiling need to be patched? **Response:** Refer to amended drawing A000 included as part of this Addendum that shows the approximate locations of the CMU infill of existing plenum openings. The infill of the plenum openings shall be part of the assigned Base-Bid, or each applicable Alternate.
- 1.15 **Bidder Question:** Drawing A000, Note #15 in Room 122. Is this note correct? **Response:** Note #15 is correct in Room 122, and all other rooms where the note is referenced. There is an existing stone windowsill that will need to be removed where the windows are to be demolished and where the new masonry infill wall will be constructed. Furthermore, the Contractor is required

to carefully remove the existing stone windowsill in a manner to prevent damage to the adjacent construction to remain.

- 1.16 **Bidder Question:** Who is responsible for the removal of the existing transformer? Is the existing concrete pad to be removed? **Response:** The Atlantic City Electric is responsible for the removal of the existing transformer. However, the Contractor shall be responsible for the removal of the existing transformer slab, the wood fence enclosure, and other items shown on drawing E.01. The Contractor shall be responsible for all site restorations, including asphalt patching, curb repairs, and grading and re-seeding of turfed areas. Refer to Topic 1.08 for related information.
- 1.17 **Bidder Question:** Just to confirm that any Utility Company fees would be paid by the District . We will not know these costs until after the application for the service is sent in. **Response:** Utility Company costs will be paid directly by the District . Contractor must coordinate all aspect of the work with the Utility Company.

ATTACHMENTS:

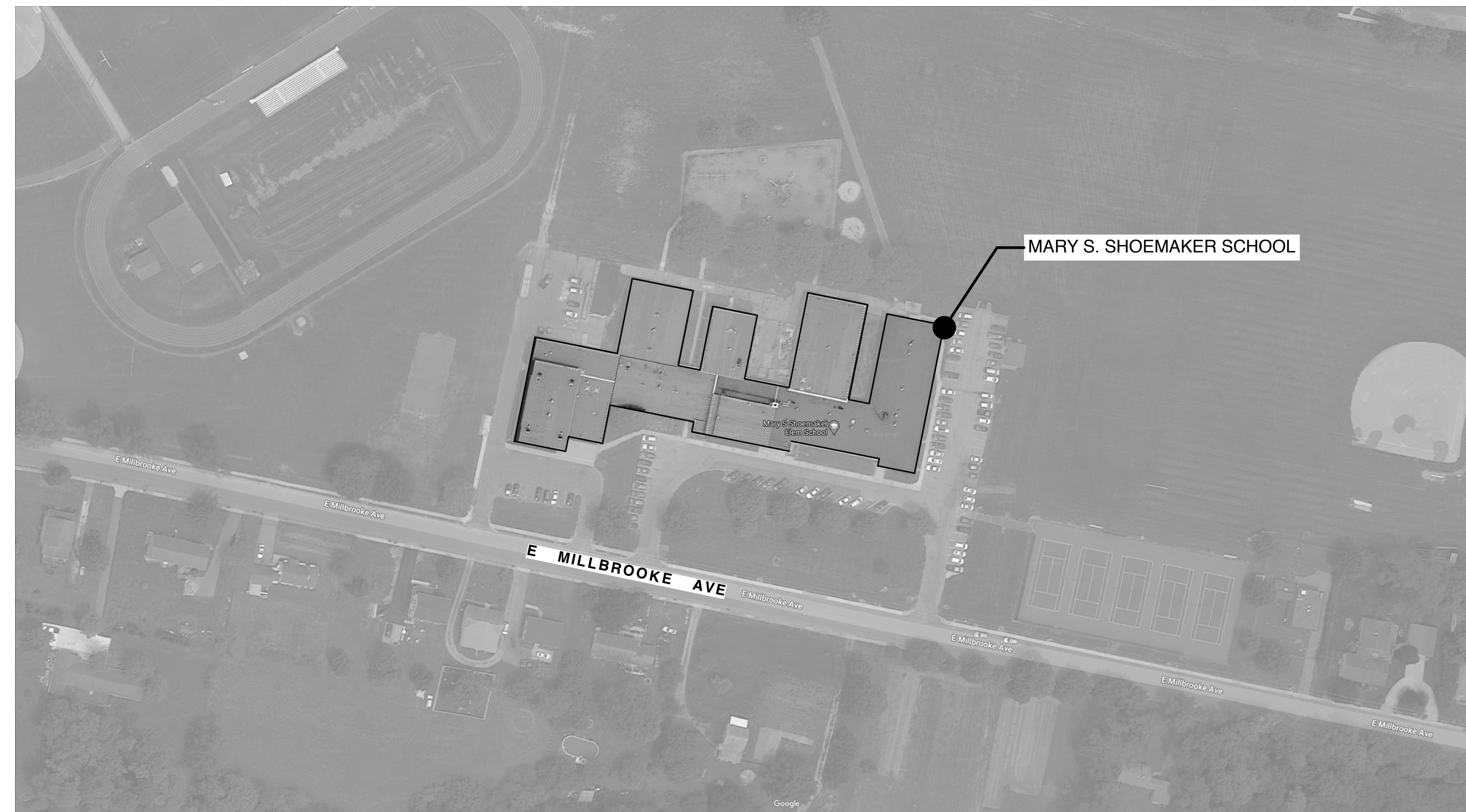
1. Amended drawings CS, A000, A100, A102, and A200 with revision date of 27 November 2020.
2. Atlantic City Electric Customer's Transformer Pad for 3-Phase Pad Mount Detail.
3. Swale Image Detail Sketch SKE-2020-11-30-1, prepared by Kelter & Gilligo.

Addendum 01 consists of 12-page(s) total.

END OF ADDENDUM 01

PARTIAL HVAC RENOVATION AT: MARY S. SHOEMAKER SCHOOL

BLOCK 27, LOT 65
201 E MILLBROOKE AVENUE
WOODSTOWN, NJ 08098
NJDOE STATE PROJECT #5910-060-21-1000



OWNER:
WOODSTOWN-PIESGROVE REGIONAL BOE
135 EAST AVENUE
WOODSTOWN, NJ 08098
856-769-0144, FAX 856-769-4549

ARCHITECT:
REGAN YOUNG ENGLAND BUTERA, PC.
456 HIGH STREET
MOUNT HOLLY, NJ 08060
609-265-2652, FAX 609-265-0333

STRUCTURAL ENGINEER:
SE2 ENGINEERING
1705 BUTLER PIKE
CONSHOHOCKEN, PA 19428
610-828-1550, FAX 610-828-5080

MPE ENGINEER:
KELTER & GILLIGO CONSULTING ENGINEERS
14 WASHINGTON STREET, SUITE 221
PRINCETON JUNCTION, NJ 08550-1028
609-799-8336, FAX 609-275-9306

LIST OF DRAWINGS:

All Contractors shall examine all drawings indicated herein for required coordination between different trades and/or for work included in other sections of the Project Manual that may pertain to their respective contract.

CS COVER SHEET
A000 PARTIAL DEMO PLAN
A100 PARTIAL NEW WORK PLAN
A101 PARTIAL REFLECTED CEILING PLAN
A102 PARTIAL ROOF PLAN & ROOF DETAILS
A200 BUILDING ELEVATIONS & WALL SECTIONS

S1 STRUCTURAL GENERAL NOTES
S2 PARTIAL EAST 1ST FLOOR LINTEL PLAN
S3 PARTIAL EAST ROOF FRAMING PLAN
S4 CONSTRUCTION DETAILS

HD1.0 PARTIAL FIRST FLOOR PLAN - HVAC DEMOLITION
HD1.1 PARTIAL ROOF PLAN - HVAC DEMOLITION
H1.0 PARTIAL FIRST FLOOR PLAN - HVAC
H1.1 PARTIAL ROOF PLAN - HVAC
H2.0 ABBREVIATIONS, SYMBOLS, AND SCHEDULES - HVAC
H2.1 SCHEDULES - HVAC
H3.0 DETAILS - HVAC
H3.1 DETAILS - HVAC

ED1.0 PARTIAL FLOOR PLAN - ELECTRICAL DEMOLITION
ED1.1 PARTIAL FLOOR PLAN - ABOVE CEILING DEMOLITION - ELECTRICAL
ED1.2 PARTIAL ROOF PLAN - ELECTRICAL DEMOLITION
E0.1 SITE PLAN - ELECTRICAL
E1.0 PARTIAL FLOOR PLAN - LIGHTING
E1.1 PARTIAL FLOOR PLAN - POWER
E1.2 PARTIAL ROOF PLAN - ELECTRICAL
E2.0 DIAGRAMS & DETAIL - ELECTRICAL

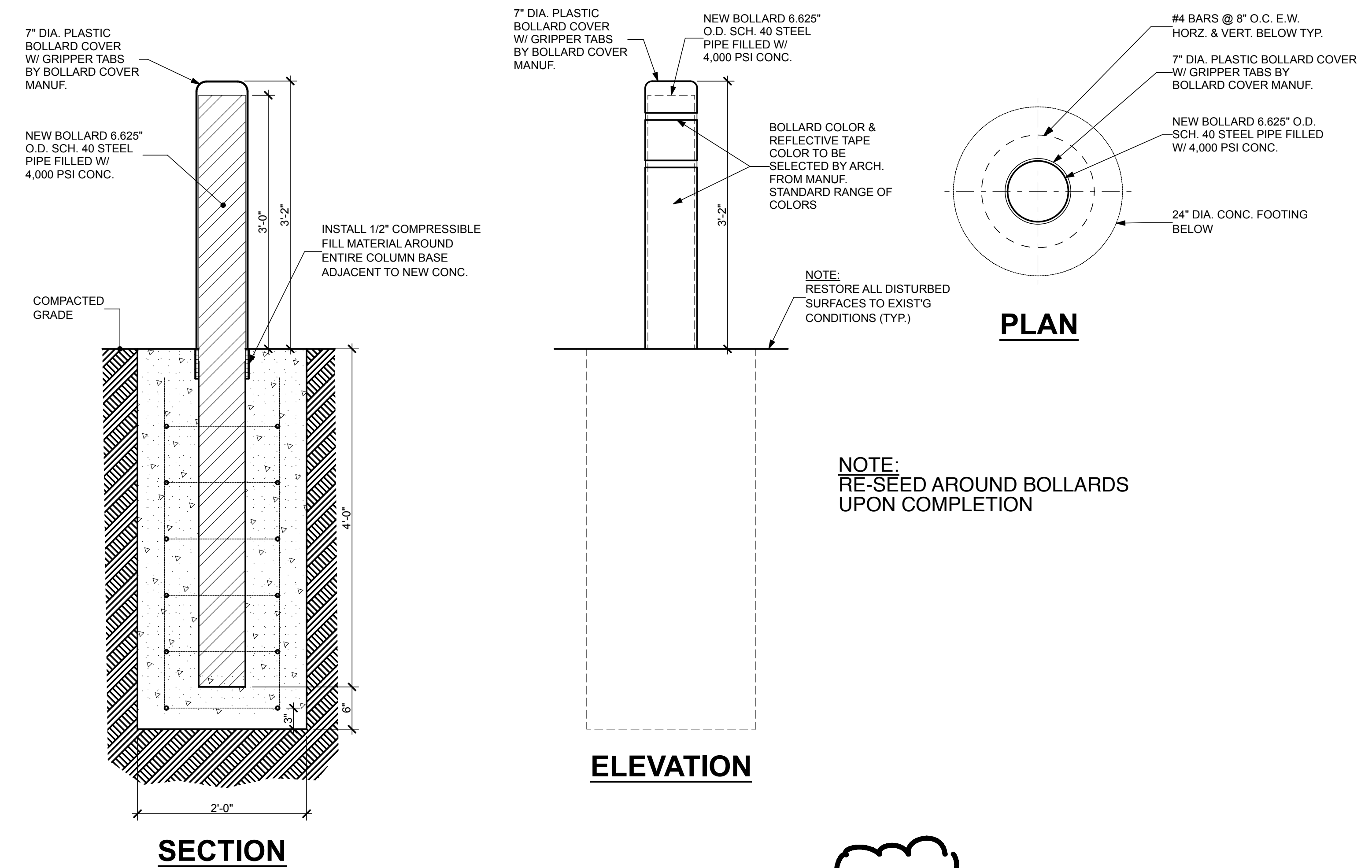
PD1.0 PARTIAL FLOOR AND ROOF PLANS - PLUMBING DEMOLITION
P1.0 PARTIAL FLOOR AND ROOF PLANS - PLUMBING
P2.0 SYMBOLS LIST, RISER DIAGRAM & DETAILS - PLUMBING

SUBCODES

THE FOLLOWING SUBCODES AS ADOPTED BY THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23 et seq.) SHALL APPLY TO THIS PROJECT.

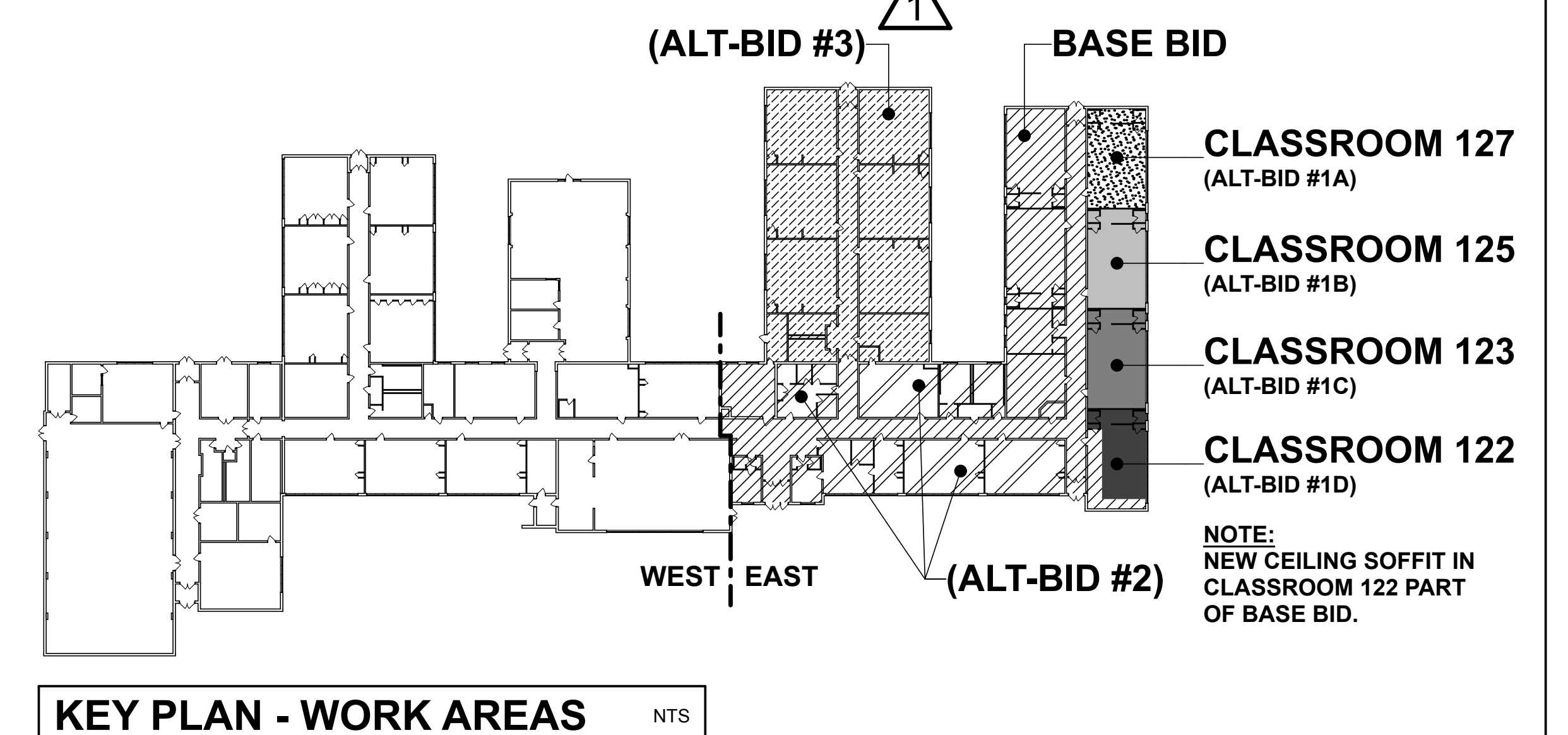
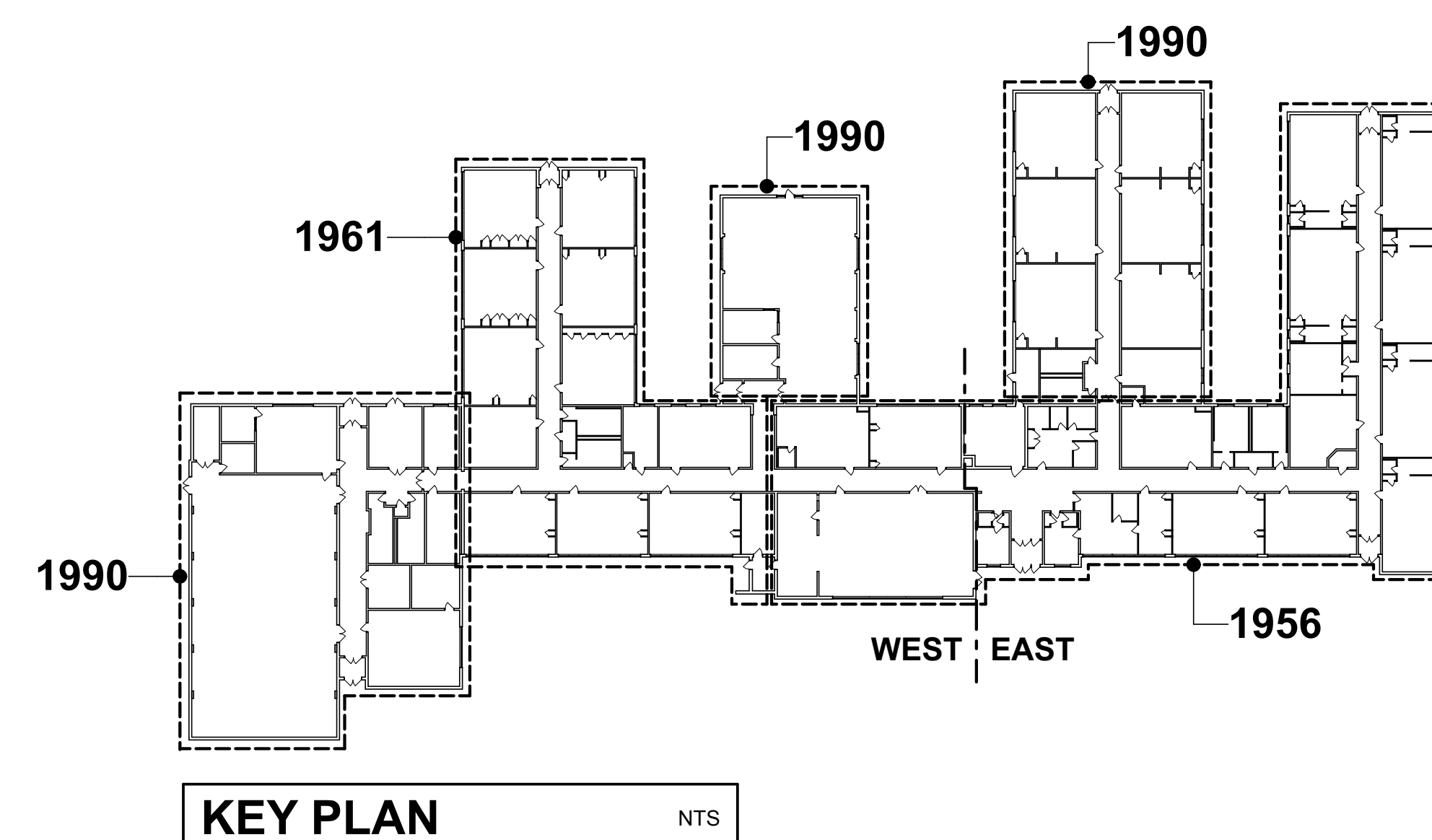
SUBCODE	NATIONAL MODEL CODE	UCC REFERENCE
BUILDING	INTERNATIONAL BUILDING CODE NJ ED/2018	NJAC 5:23-3.14
PLUMBING	NATIONAL PLUMBING CODE /2018	NJAC 5:23-3.15
ELECTRICAL	NATIONAL ELECTRICAL CODE /2017	NJAC 5:23-3.16
ENERGY	ASHRAE 90.1-2016	NJAC 5:23-3.18
MECHANICAL	INTERNATIONAL MECHANICAL CODE /2018	NJAC 5:23-3.20
FUEL GAS	INTERNATIONAL FUEL GAS CODE /2018	NJAC 5:23-3.22
REHABILITATION	REHABILITATION SUBCODE RENOVATION 6.5 AND ALTERATION 6.6	NJAC 5:23-6
BARRIER FREE	ICC/ANSI A117.1-2009	NJAC 5:23-7

CONSTRUCTION TYPE: IIB
USE GROUP: E



BOLLARD DETAILS

SCALE: 1/8" = 1'-0" 01



PRINT DATE: 11/26/20

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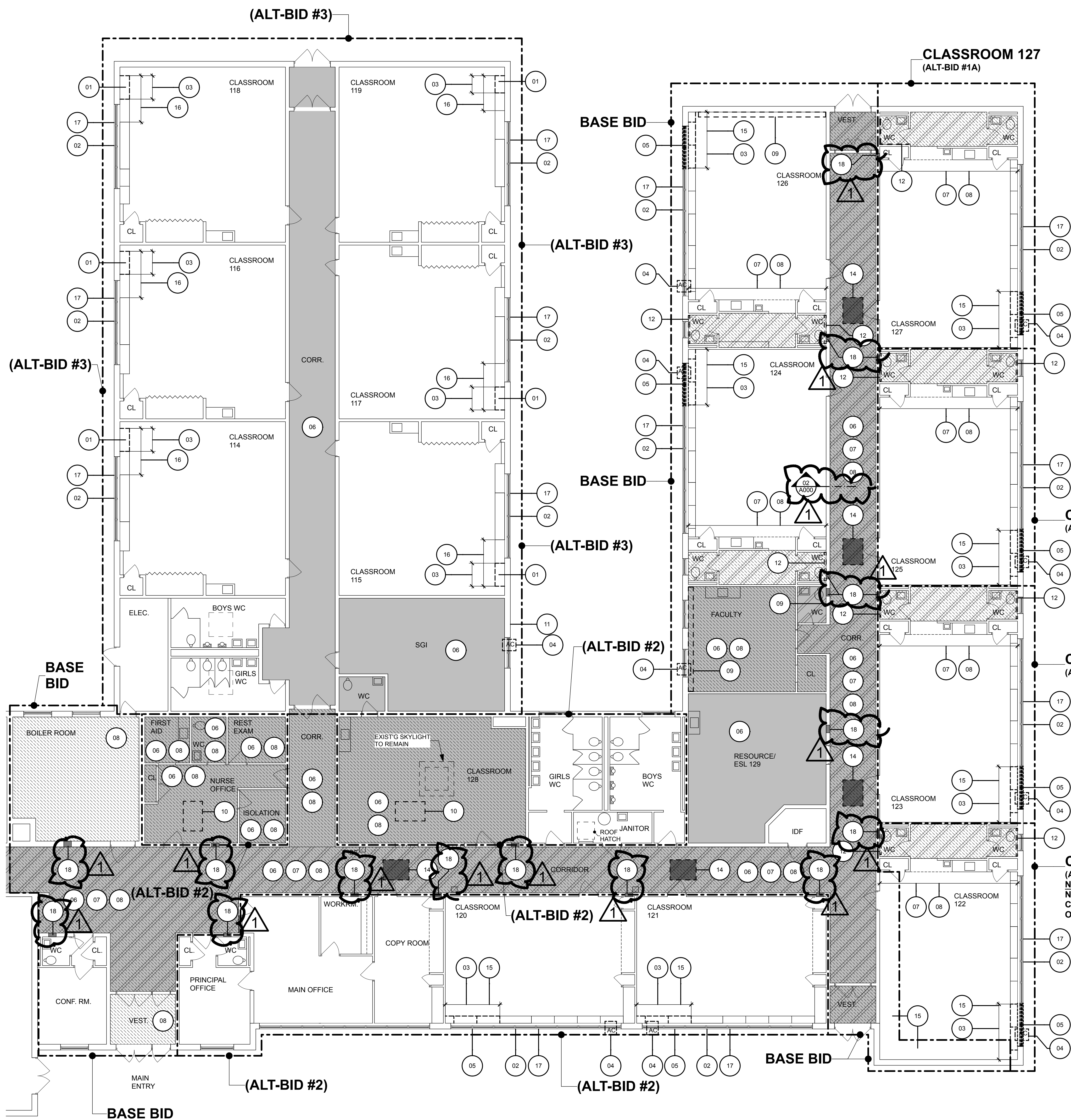
**PARTIAL HVAC RENOVATION AT:
MARY S. SHOEMAKER ELEMENTARY SCHOOL
LOT 65, BLOCK 27
201 EAST MILLBROOKE AVENUE
WOODSTOWN, NEW JERSEY 08098**
TITLE: **COVER SHEET**

DRAWING DATE:
30 OCT 2020
REVISION DATE:
27 NOV 2020

DRAWN BY:
PF
COMMISSION NO.:
5652Aa

CS

1 OF 1

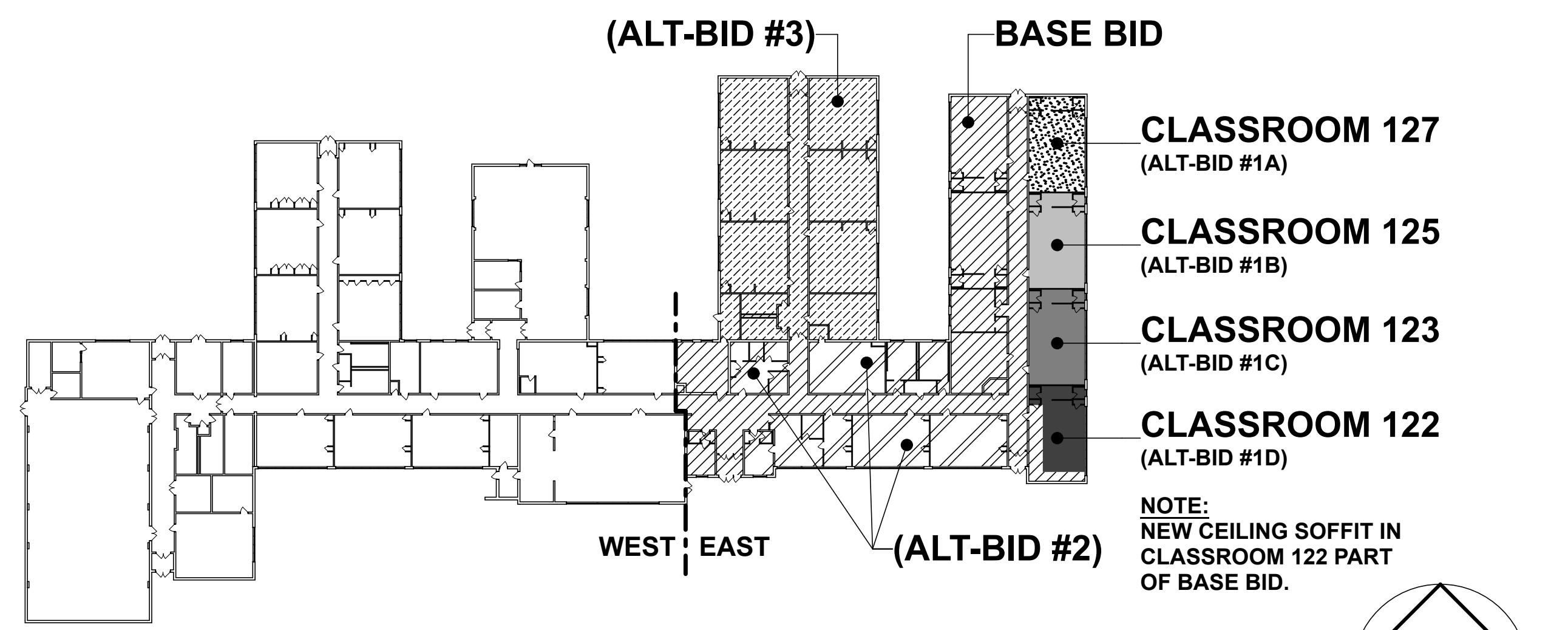
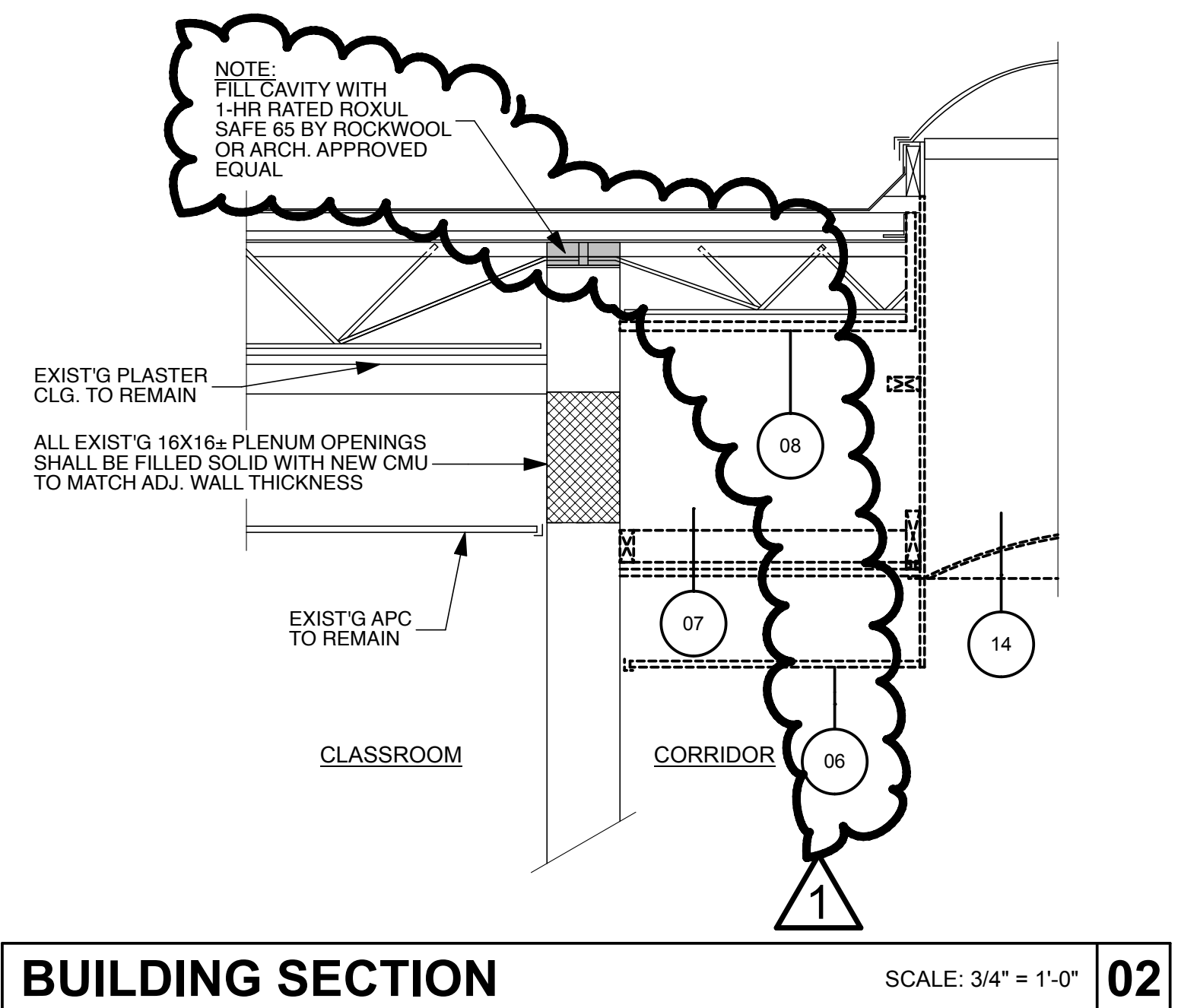


PARTIAL DEMO PLAN SCALE: 1/8" = 1'-0" **01**

- DEMO NOTES:**
- 01 REMOVE PORTION OF EXIST'G MASONRY WALL AS REQUIRED FOR NEW LOUVER & STRUCTURAL LINTEL.
 - 02 REMOVE & REINSTALL EXIST'G LOUVER & INFILL WITH NEW INSUL. SANDWICH PANEL - SEE DTLS. 02/A100 & 03/A100 FOR ADDITIONAL INFORMATION. (TYP. AT EACH EXIST'G U/V LOCATION.)
 - 03 REMOVE PORTION OF EXIST'G CASEWORK AS REQUIRED FOR NEW VERTICAL MECHANICAL UNITS - FOLLOW NEW WORK PLANS FOR ADD'L INFO (TYP.)
 - 04 REMOVE EXIST'G WINDOW A/C UNIT & RETURN TO OWNER IN WORKING CONDITION.
 - 05 REMOVE PORTION OF EXIST'G ALUM. WINDOWS AS REQUIRED FOR NEW LOUVER & NEW MASONRY INFILL WALL (2 WINDOW UNITS).
 - 06 REMOVE EXIST'G APC & ALL SUPPORTING ELEMENTS IN THEIR ENTIRETY. RE-SUPPORT EXIST'G LIGHTS, SPEAKERS, F.A. & ALL OTHER CEILING-MOUNTED DEVICES UNTIL NEW CEILING SYSTEM IS INSTALLED. ALL EXISTING DEVICES MUST REMAIN FUNCTIONAL AT ALL TIMES. SEE MPE DWGS. FOR ADD'L INFO.
 - 07 REMOVE EXIST'G ADHERED TILE CEILING & WOOD RAFTER SUPPORT SYSTEM IN THEIR ENTIRETY. RE-SUPPORT EXIST'G LIGHTS, SPEAKERS, F.A. & ALL OTHER CEILING-MOUNTED DEVICES UNTIL NEW CEILING SYSTEM IS INSTALLED, UNLESS NOTED OTHERWISE. ALL EXISTING DEVICES MUST REMAIN FUNCTIONAL AT ALL TIMES, UNLESS NOTED OTHERWISE. SEE MPE DWGS. FOR ADD'L INFO.
 - 08 REMOVE EXIST'G PLASTER CEILING & SUPPORT SYSTEM IN THEIR ENTIRETY. RE-SUPPORT EXIST'G LIGHTS, SPEAKERS, F.A. & ALL OTHER CEILING-MOUNTED DEVICES UNTIL NEW CEILING SYSTEM IS INSTALLED, UNLESS NOTED OTHERWISE. ALL EXISTING DEVICES MUST REMAIN FUNCTIONAL AT ALL TIMES, UNLESS NOTED OTHERWISE. SEE MPE DWGS. FOR ADD'L INFO.
 - 09 REMOVE EXIST'G FTR & PATCH ALL CMU/BRICK MASONRY TO MATCH ADJ. CONST. PRIME & PAINT INTERIOR WALL TO MATCH EXIST'G.
 - 10 REMOVE EXIST'G AHU/UV ON ROOF & ASSOCIATED ITEMS IN THEIR ENTIRETY; PATCH ALL MASONRY TO MATCH ADJ. CONST. PRIME & PAINT INTERIOR WALL TO MATCH EXIST'G.
 - 11 REMOVE EXIST'G CEILING EF & ASSOCIATED ITEMS IN THEIR ENTIRETY; PATCH ALL CMU/BRICK MASONRY TO MATCH ADJ. CONST. PRIME & PAINT INTERIOR WALL TO MATCH EXIST'G.
 - 12 REMOVE EXIST'G PIPING AND/OR PIPING ENCLOSURE & CAP BACK TO MAIN; PATCH ALL MASONRY TO MATCH ADJ. CONST. PRIME & PAINT INTERIOR WALL TO MATCH EXIST'G. PATCH EXIST'G FLOOR & INSTALL NEW VCT FLOORING WHERE REQ'D.
 - 13 REMOVE EXIST'G PORTION OF EXIST'G APC & GRID FOR INSTALL OF NEW SOFFIT SYSTEM. RE-SUPPORT & RE-HANG EXIST'G APC SYSTEM AFTER SOFFIT IS CONSTRUCTED.
 - 14 REMOVE EXIST'G INTERIOR SKYLIGHT FROM CLG. LEVEL TO EXISTING SUPPORTING STRUCTURE AT ROOF SKYLIGHT TO REMAIN AT ROOF LEVEL.
 - 15 REMOVE PORTION OF EXIST'G STONE SILL AS REQ'D AT LOCATION OF REMOVAL OF EXIST'G WINDOWS & SHELVING UNITS.
 - 16 REMOVE ENTIRE METAL COUNTERTOP & FABRICATE NEW TOP TO SUIT EXIST'G CABINETS TO REMAIN
 - 17 REMOVE EXIST'G ROLLER SHADES & RE-INSTALL IN UNDAMPED, WORKING CONDITION
 - 18 ALL EXIST'G 16X16+ PLENUM OPENINGS SHALL BE FILLED SOLID WITH NEW CMU TO MATCH ADJ. WALL THICKNESS. COORDINATE EXISTING LOCATIONS IN FIELD. PLENUM OPENINGS THAT ARE PART OF ALTERNATE BIDS SHALL BE INFILLED AS PART OF THAT ALT-BID. ALL OTHER PLENUM OPENINGS THAT ARE PART OF BASE-BID MECHANICAL WORK AREAS SHALL INFILLED AS PART OF BASE BID.
- NOTE: FOLLOW MPE DWGS. FOR ADDITIONAL REQUIREMENTS**

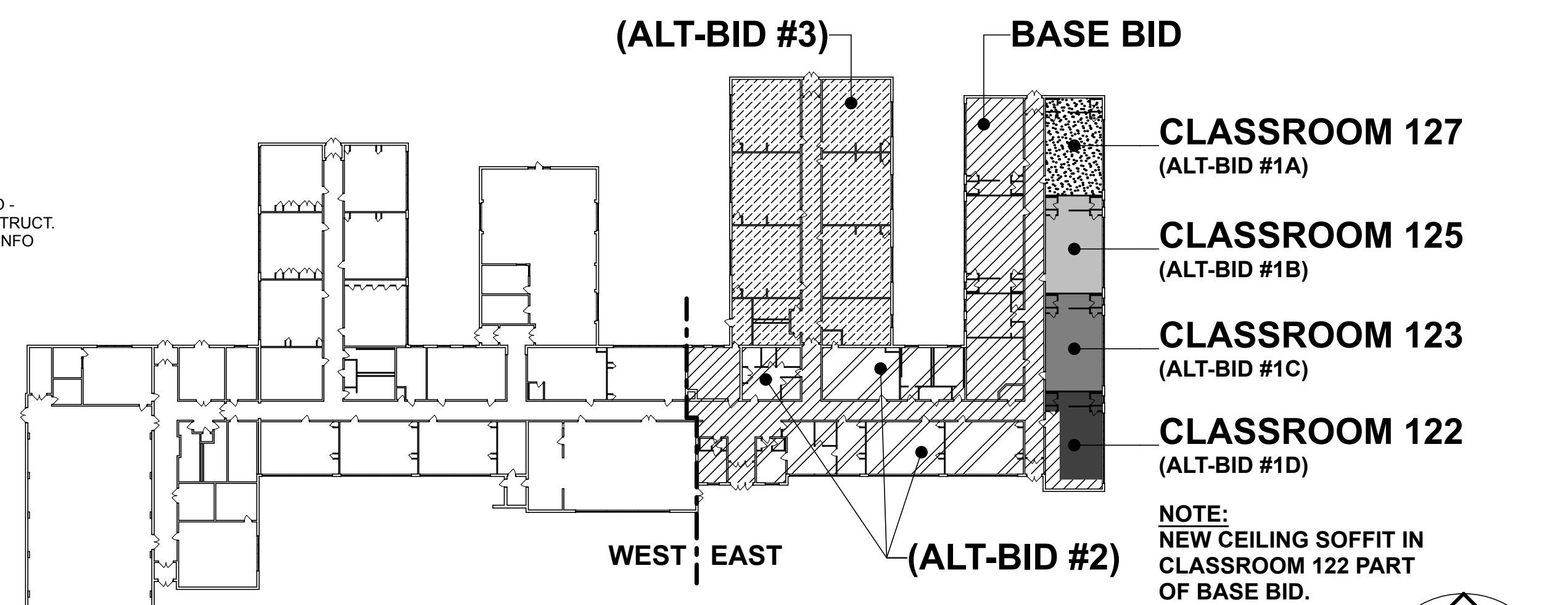
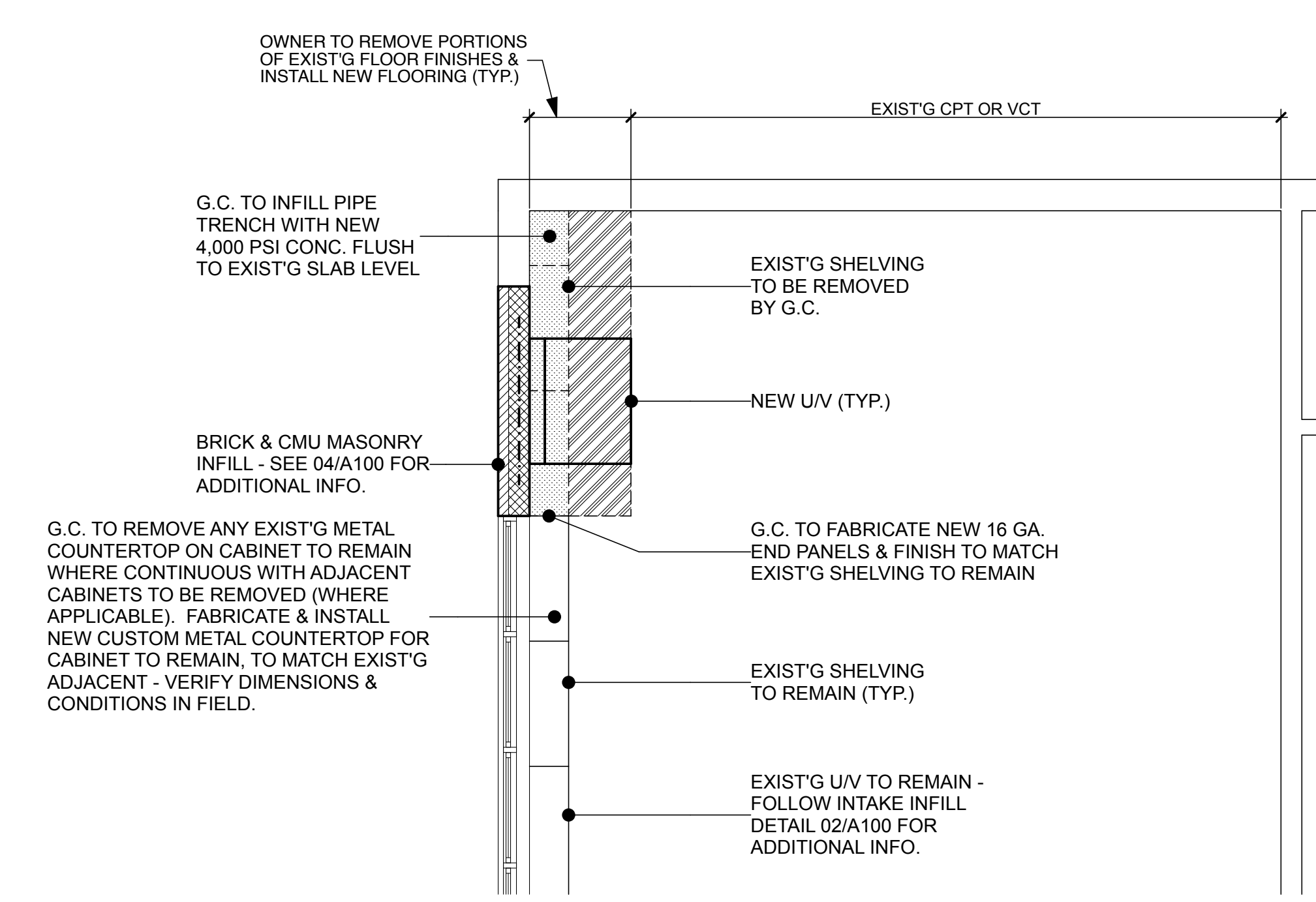
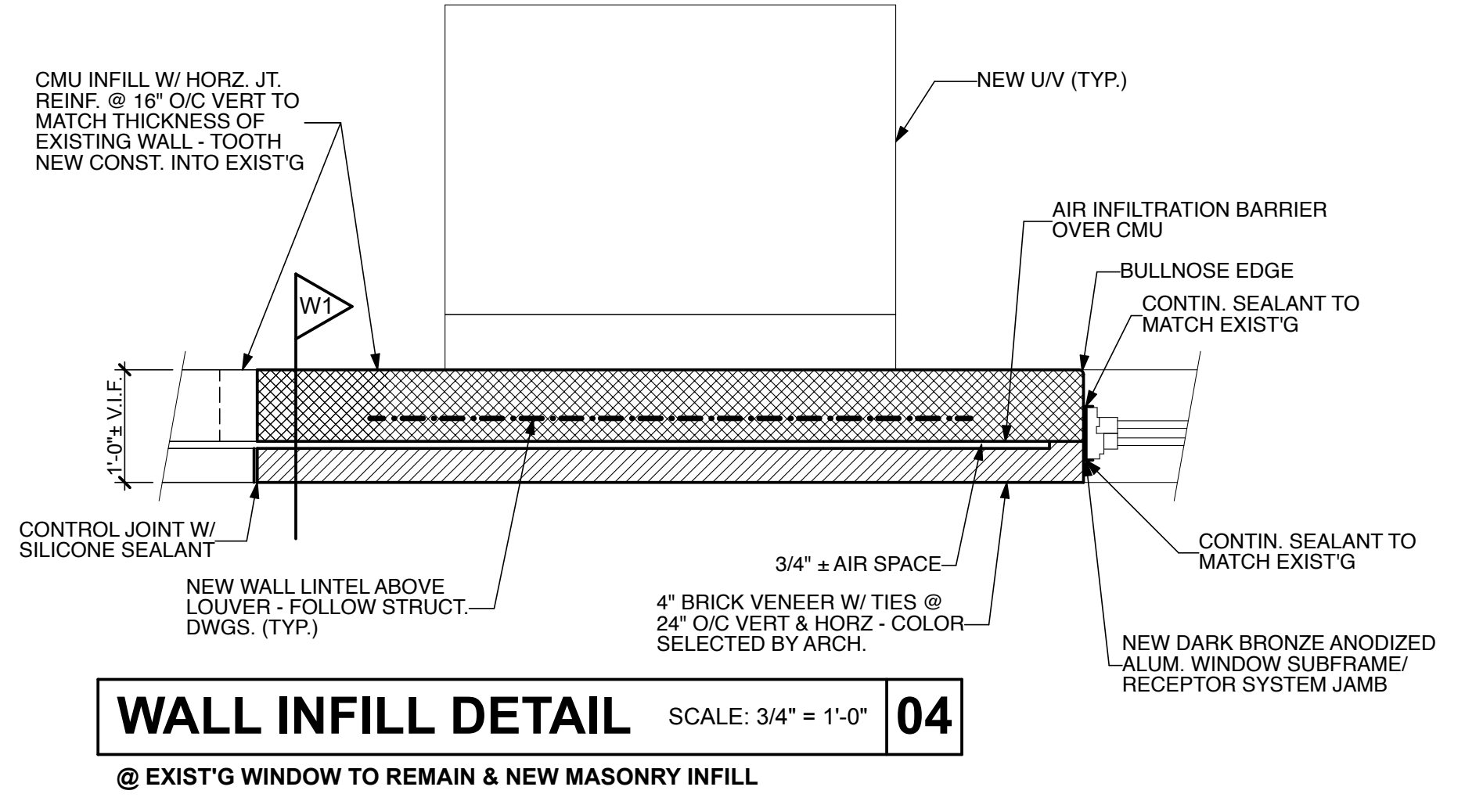
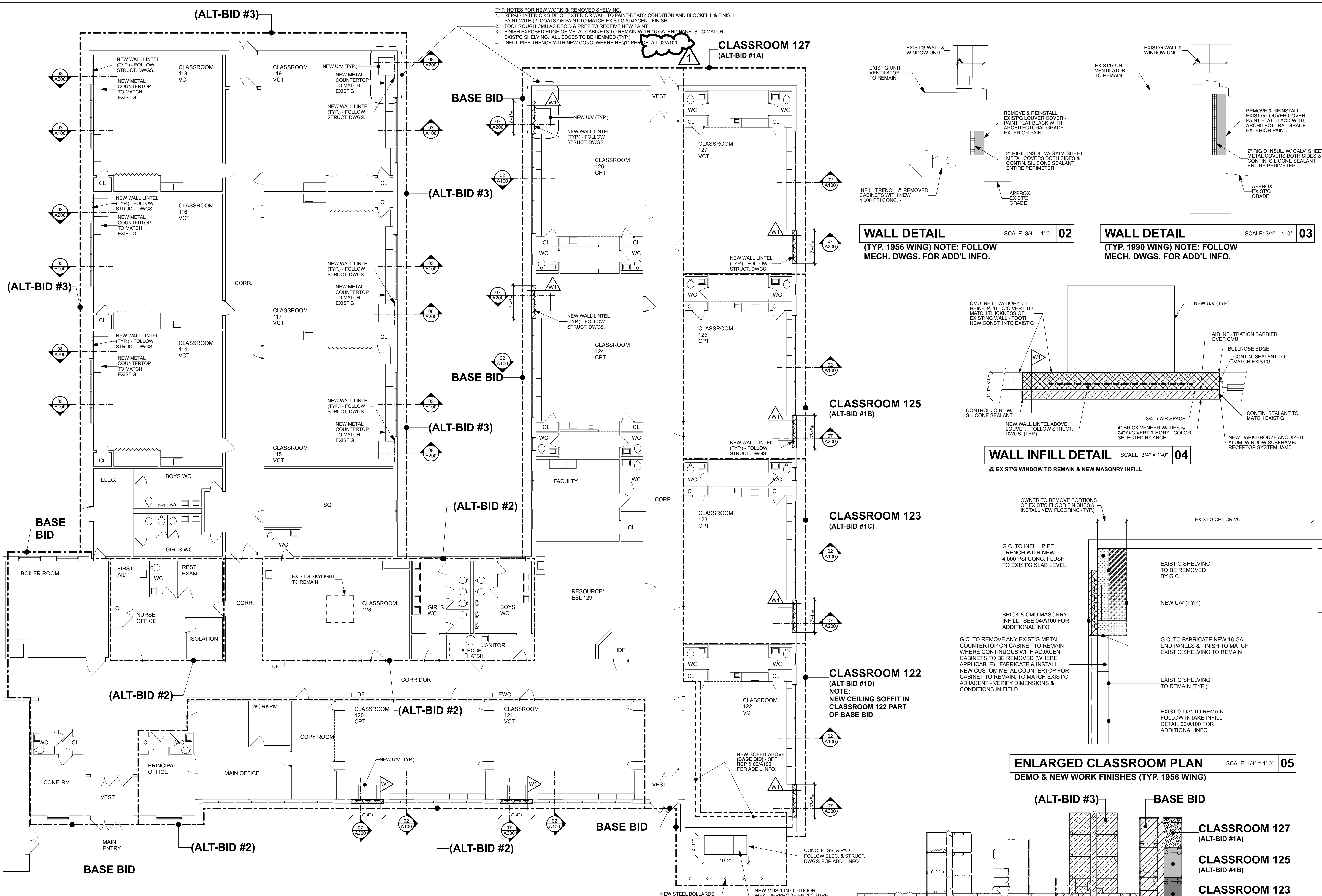
TYP. DEMO NOTES:

1. ALL ROOM DOORS, FRAMES & OTHER WALL OPENINGS SHALL BE PROPERLY SEALED TO PREVENT DUST/DEBRIS MIGRATION FROM DEMOLITION OPERATIONS AND THAT NEGATIVE AIR PRESSURE SHALL BE EMPLOYED DURING ALL CORRIDOR DEMOLITION WORK.
2. G.C. TO PROTECT ALL EXIST'G FLOOR AS NECESSARY TO PREVENT DAMAGE.



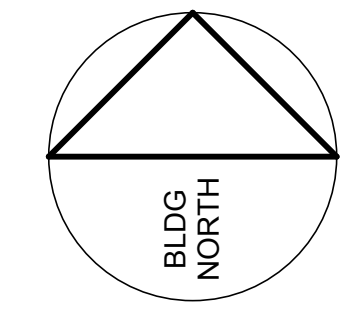
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 21A0912100
REGAN YOUNG ENGLAND BUTERA
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 +1(609)265-2652/0333FAX • 21A0912100 • RYEBREAD.COM
 NJDOE SP #5910-060-21-1000
PARTIAL DEMO PLAN
 TITLE
 DRAWING DATE: 30 OCT 2020
 REVISION DATE: 27 NOV 2020
 DRAWN BY: PF
 COMMISSION NO.: 5652Aa
A000
 1 OF 5
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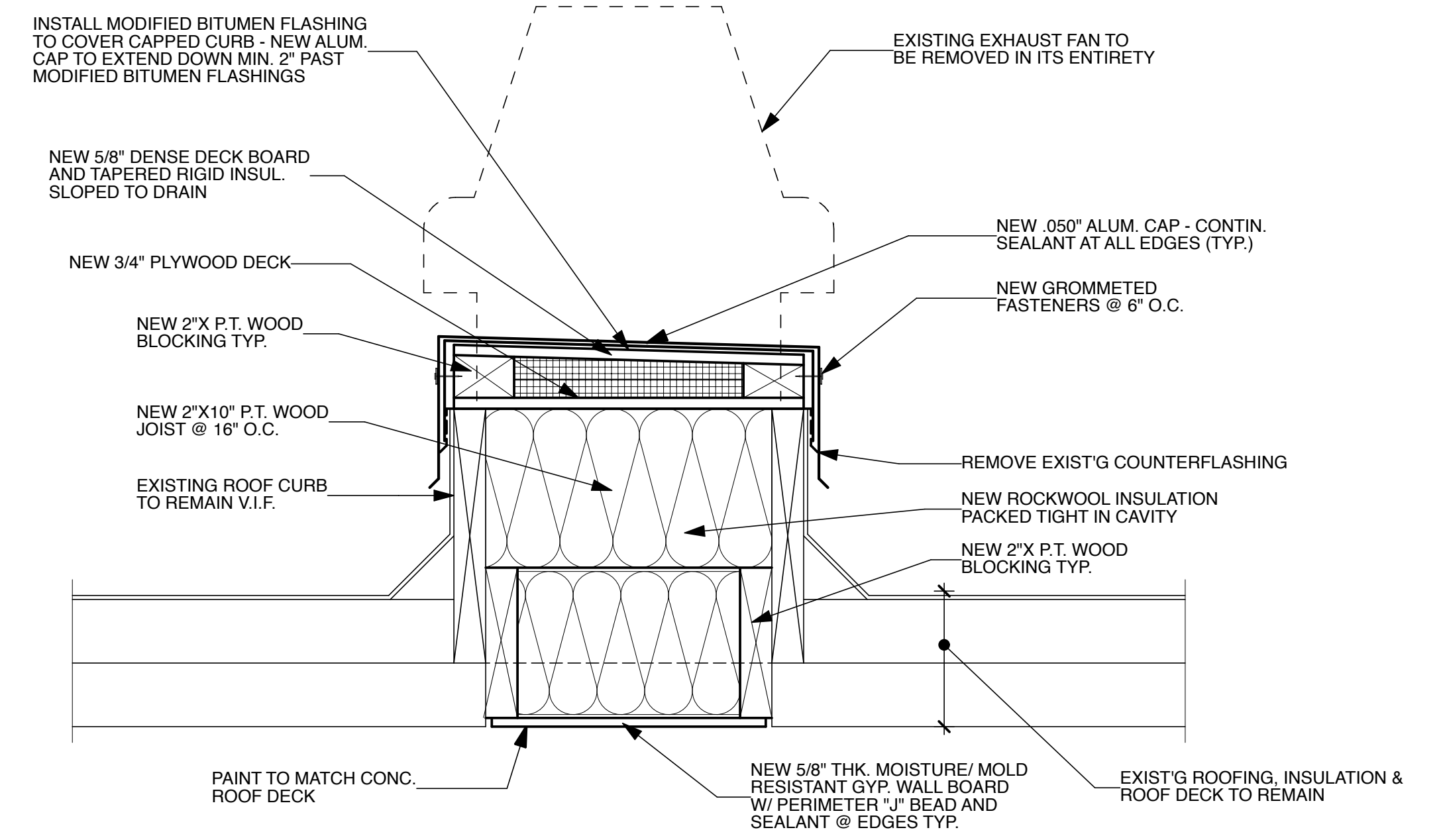
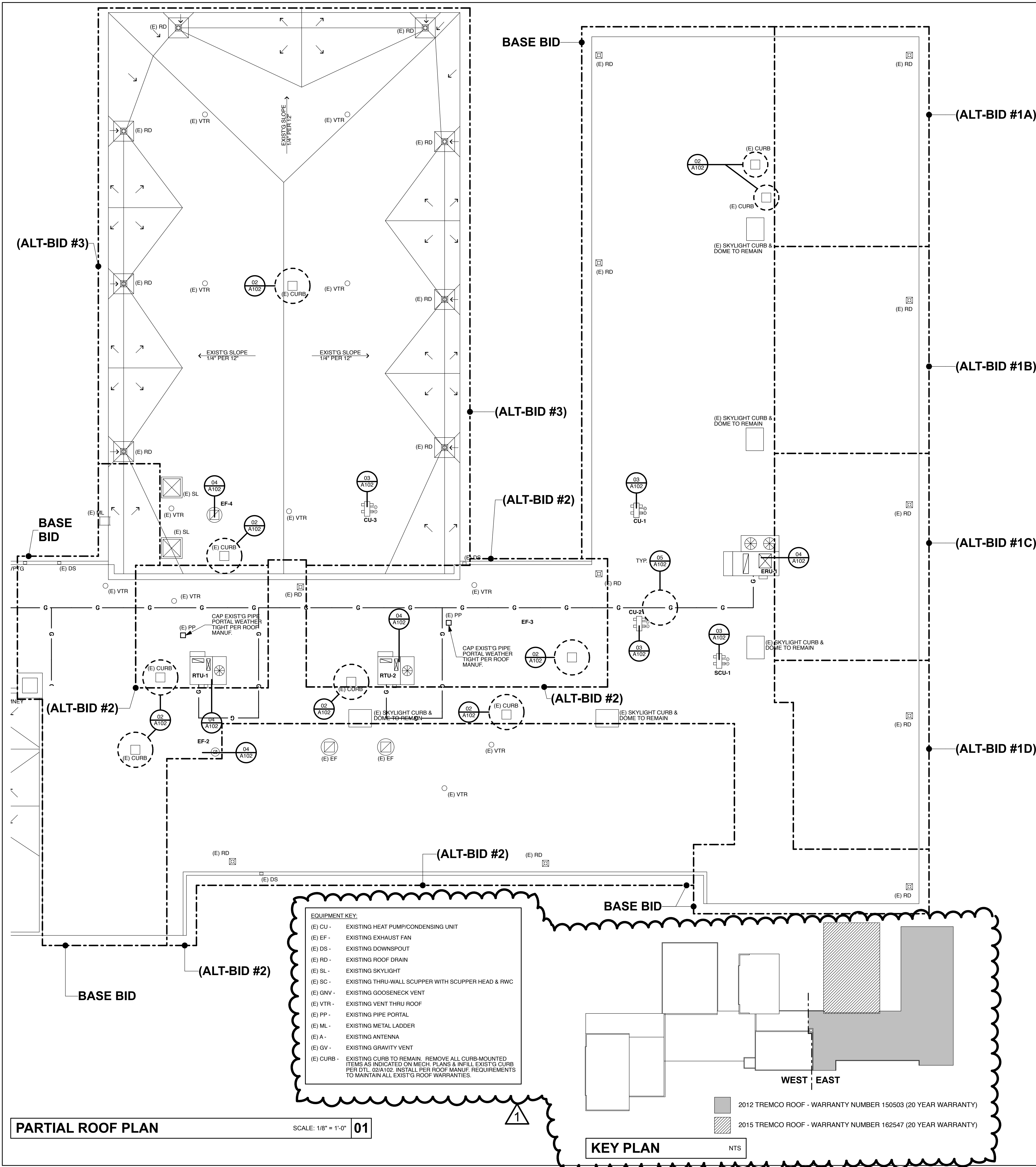
TYP. NOTES FOR NEW WORK @ REMOVED SHELVING:
1. REPAIR INTERIOR SIDE OF EXIST'G WALL TO PAINT-READY CONDITION AND BLOCKFILL & FINISH PAINT WITH (2) COATS OF PAINT TO MATCH EXIST'G ADJACENT FINISH.
2. TOOL ROUGH CMU AS REQ'D & PREP TO RECEIVE NEW PAINT.
3. FINISH EXPOSED EDGE OF METAL CABINETS TO REMAIN WITH 16 GA. END PANELS TO MATCH EXIST'G SHELVING. ALL EDGES TO BE HEMMED (TYP.).
4. INFILL PIPE TRENCH WITH NEW CONC. WHERE REQ'D PER DETAIL 02/A100.



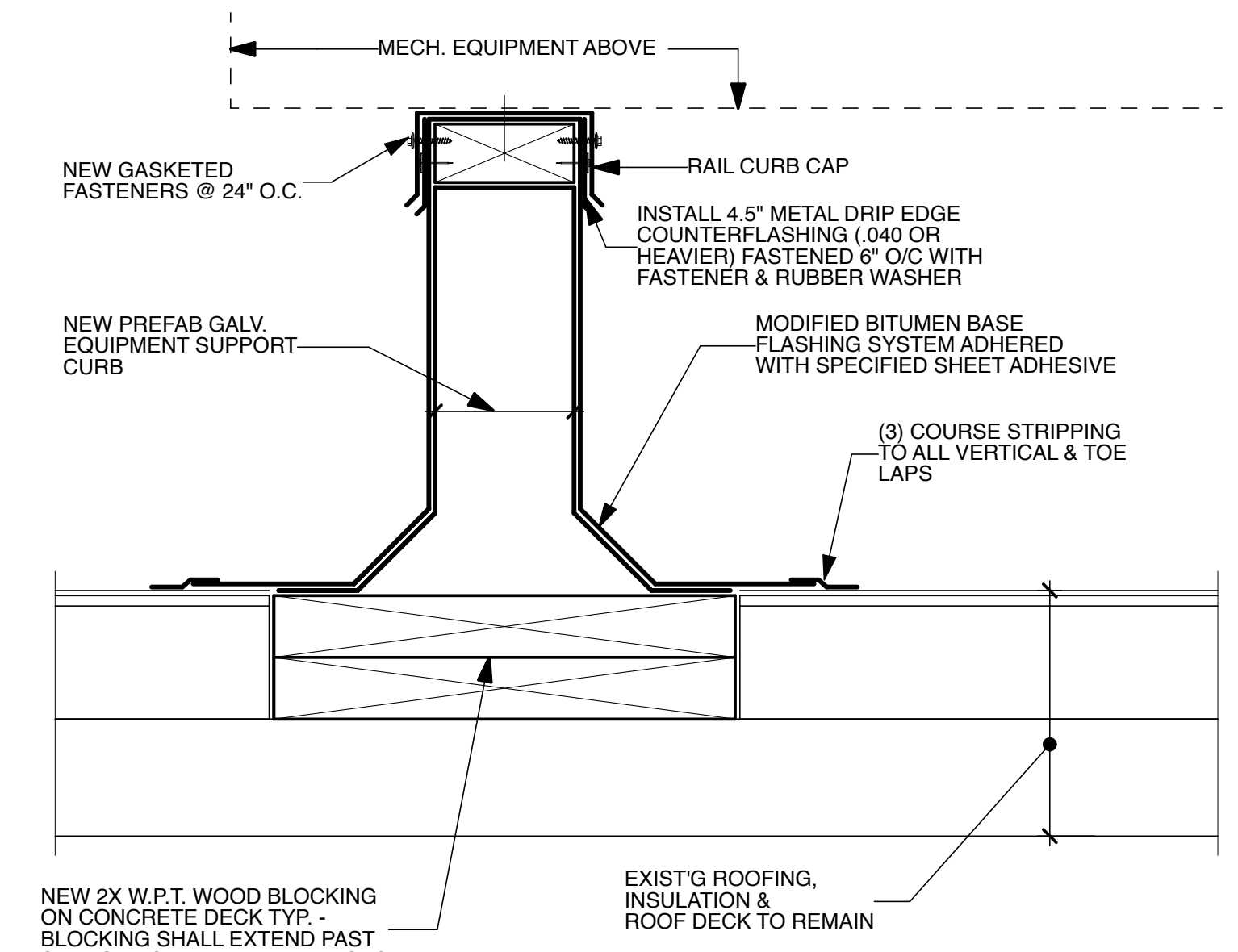
PARTIAL NEW WORK PLAN SCALE: 1/8" = 1'-0" **01**

KEY PLAN NTS

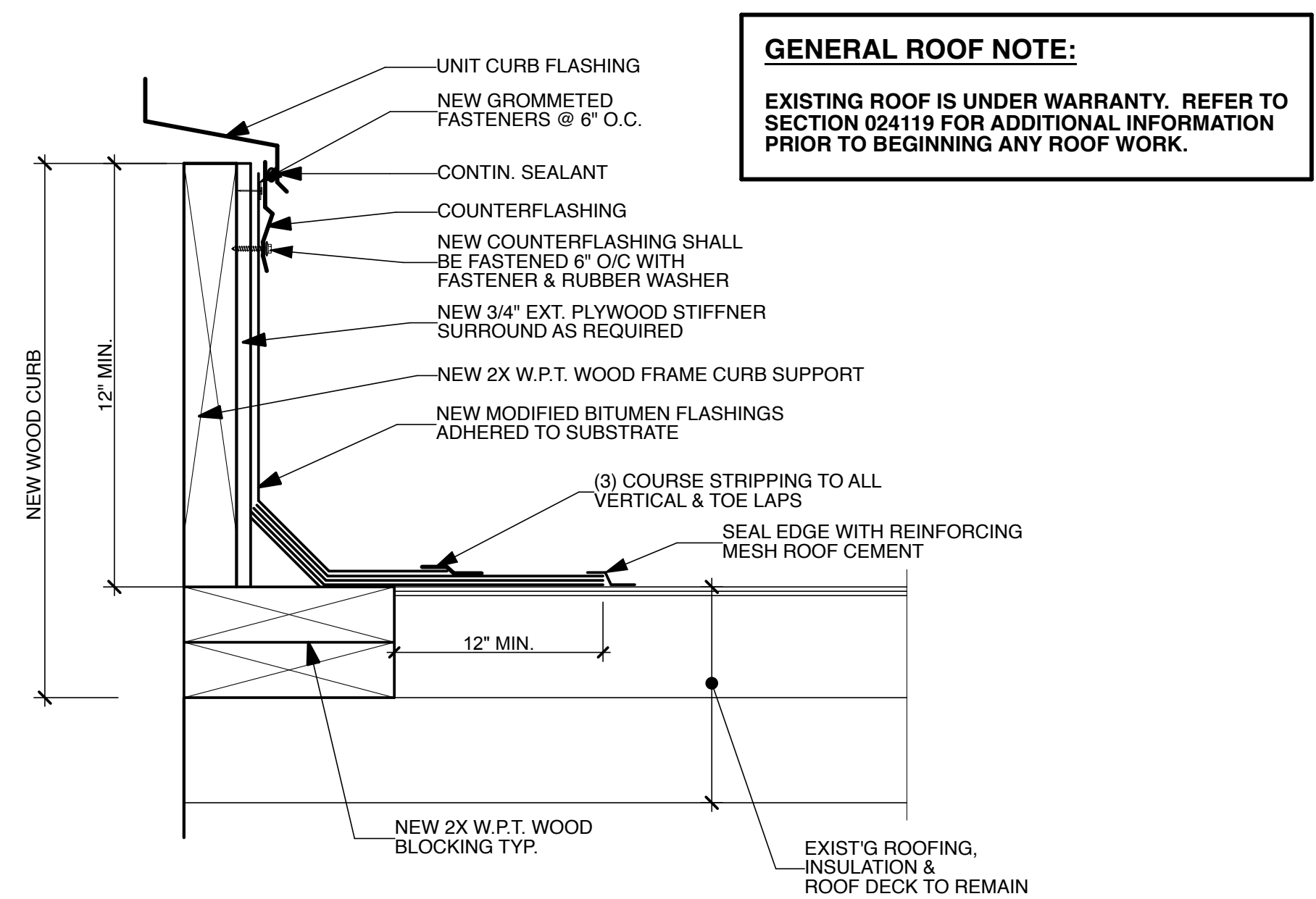




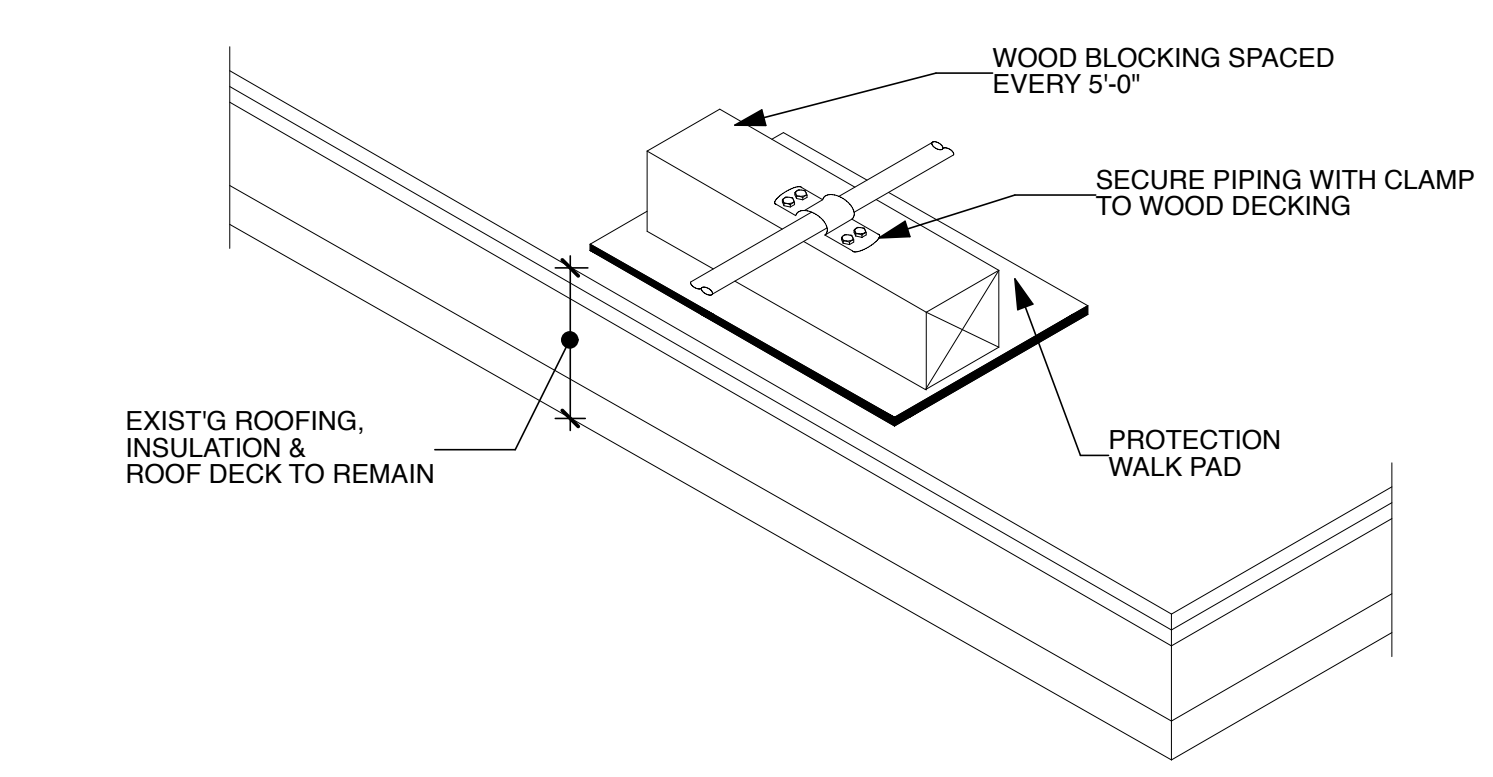
TYP. INFILL CURB DETAIL NTS 02 A102



TYP. EQUIPMENT CURB DTL. NTS 03 A102

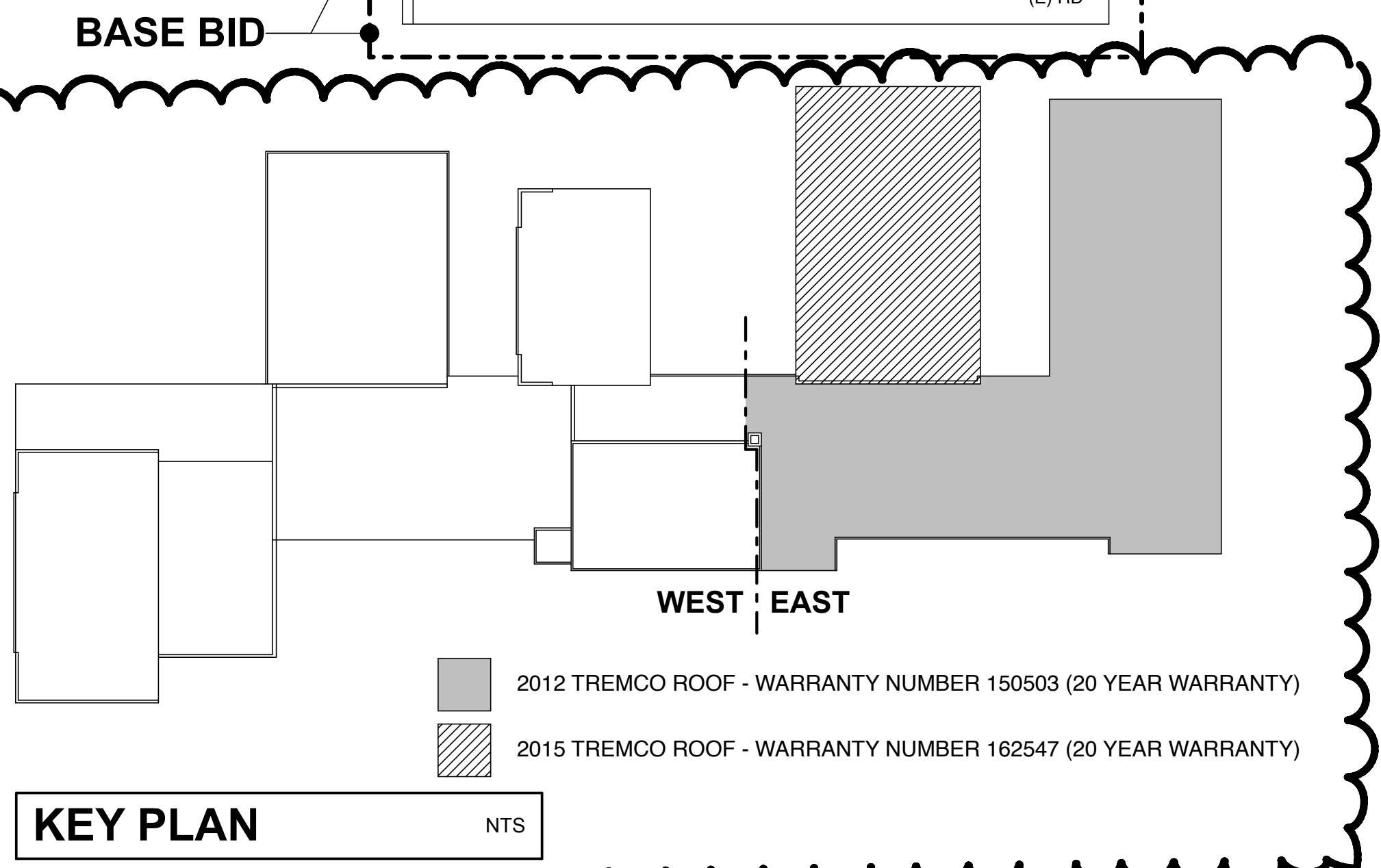


TYP. ROOF CURB DETAIL NTS 04 A102



PIPE SUPPORT DETAIL NTS 05 A102

- EQUIPMENT KEY:**
- (E) CU - EXISTING HEAT PUMP/CONDENSING UNIT
 - (E) EF - EXISTING EXHAUST FAN
 - (E) DS - EXISTING DOWNSPOUT
 - (E) RD - EXISTING ROOF DRAIN
 - (E) SL - EXISTING SKYLIGHT
 - (E) SC - EXISTING THRU-WALL SCUPPER WITH SCUPPER HEAD & RWC
 - (E) GNV - EXISTING GOOSENECK VENT
 - (E) VTR - EXISTING VENT THRU ROOF
 - (E) PP - EXISTING PIPE PORTAL
 - (E) ML - EXISTING METAL LADDER
 - (E) A - EXISTING ANTENNA
 - (E) GV - EXISTING GRAVITY VENT
 - (E) CURB - EXISTING CURB TO REMAIN. REMOVE ALL CURB-MOUNTED ITEMS AS INDICATED ON MECH. PLANS & INFILL EXIST'G CURB PER DTL. 02/A102. INSTALL PER ROOF MANUF. REQUIREMENTS TO MAINTAIN ALL EXIST'G ROOF WARRANTIES.

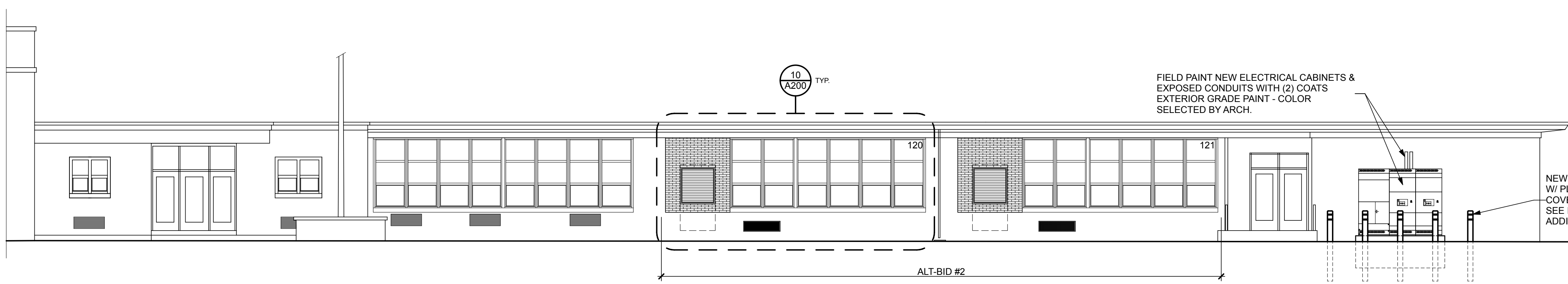


PARTIAL ROOF PLAN SCALE: 1/8" = 1'-0" 01

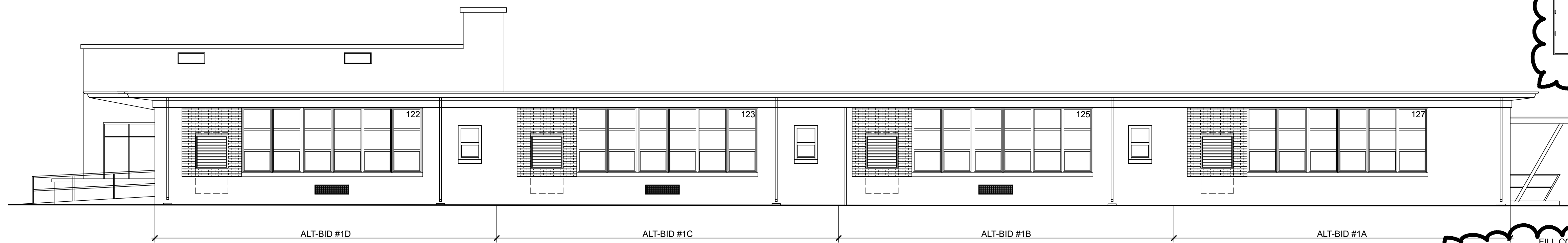
KEY PLAN NTS

GENERAL ROOF NOTE:
EXISTING ROOF IS UNDER WARRANTY. REFER TO SECTION 024119 FOR ADDITIONAL INFORMATION PRIOR TO BEGINNING ANY ROOF WORK.

PRINT DATE: 11/26/20
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 +1 (609) 265-2652 • 0333 FAX • 21A00912100 • RYEBREAD.COM
 NJDOE SP #5910-060-21-1000
 PARTIAL HVAC RENOVATION AT:
 MARY S. SHOEMAKER ELEMENTARY SCHOOL
 LOT 66, BLOCK 27
 201 EAST MILL BROOK AVENUE
 WOODSTOWN, NEW JERSEY 08098
 TITLE: **PARTIAL ROOF PLAN & ROOF DETAILS**
 DRAWING DATE: **30 OCT 2020**
 REVISION DATE: **27 NOV 2020**
 DRAWN BY: **PF**
 COMMISSION NO.: **5652Aa**
A102
 4 OF 5
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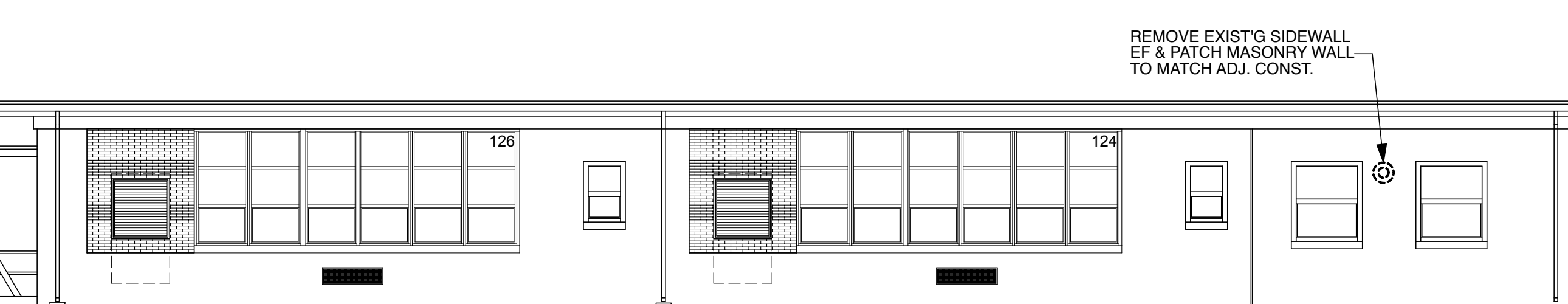
PARTIAL BUILDING ELEVATION SCALE: 1/8" = 1'-0" **01 A200**



BUILDING ELEVATION SCALE: 1/8" = 1'-0" **02 A200**

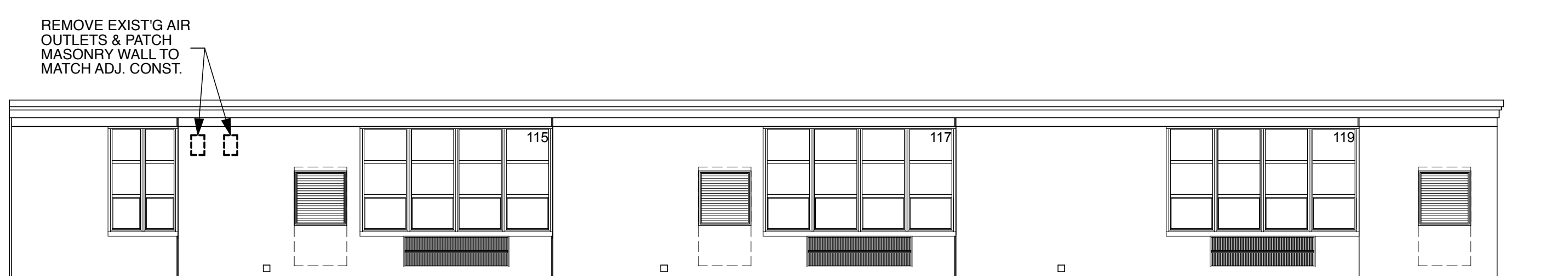


PARTIAL BUILDING ELEVATION SCALE: 1/8" = 1'-0" **03 A200**



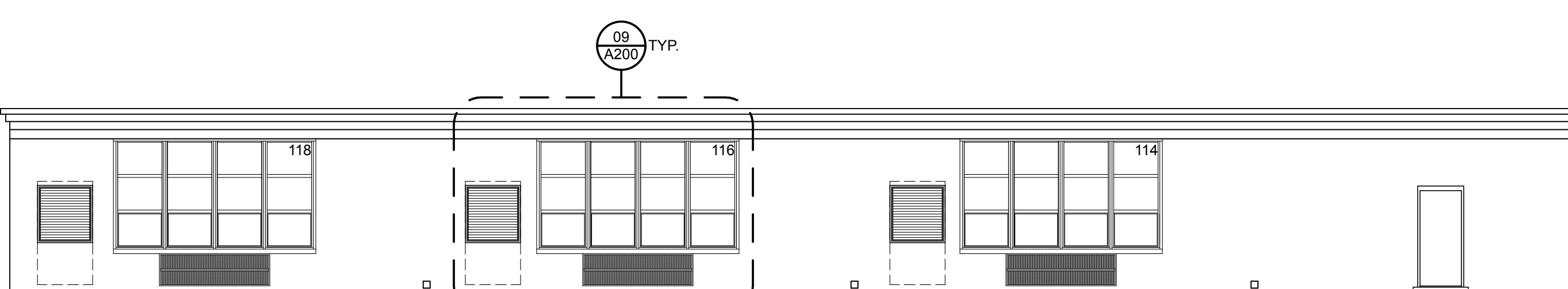
BUILDING ELEVATION SCALE: 1/8" = 1'-0" **04 A200**

BASE-BID



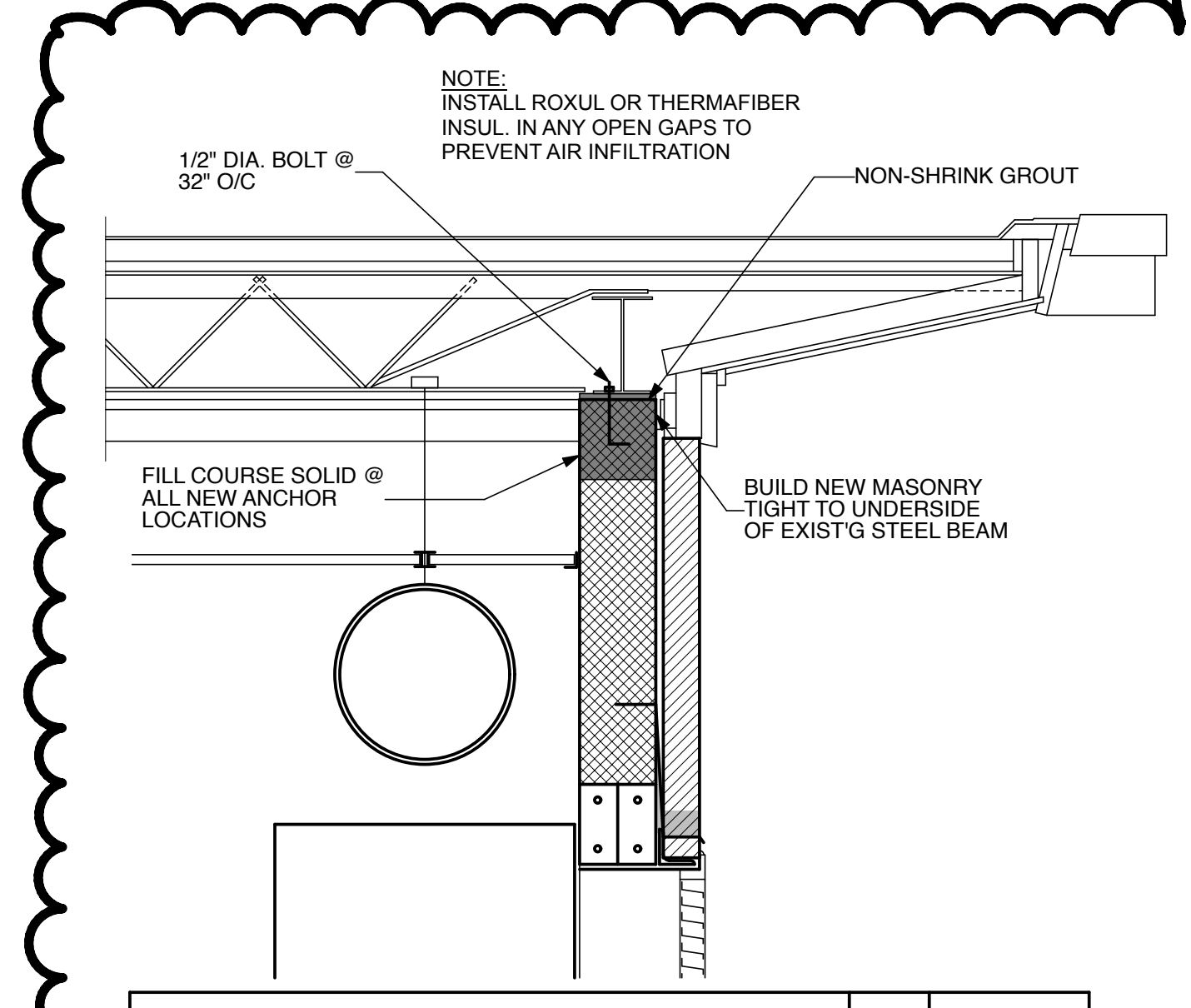
BUILDING ELEVATION SCALE: 1/8" = 1'-0" **05 A200**

ALT-BID #3

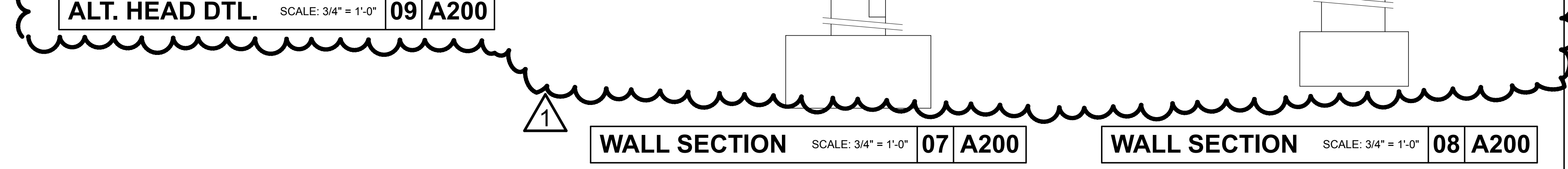


BUILDING ELEVATION SCALE: 1/8" = 1'-0" **06 A200**

ALT-BID #3

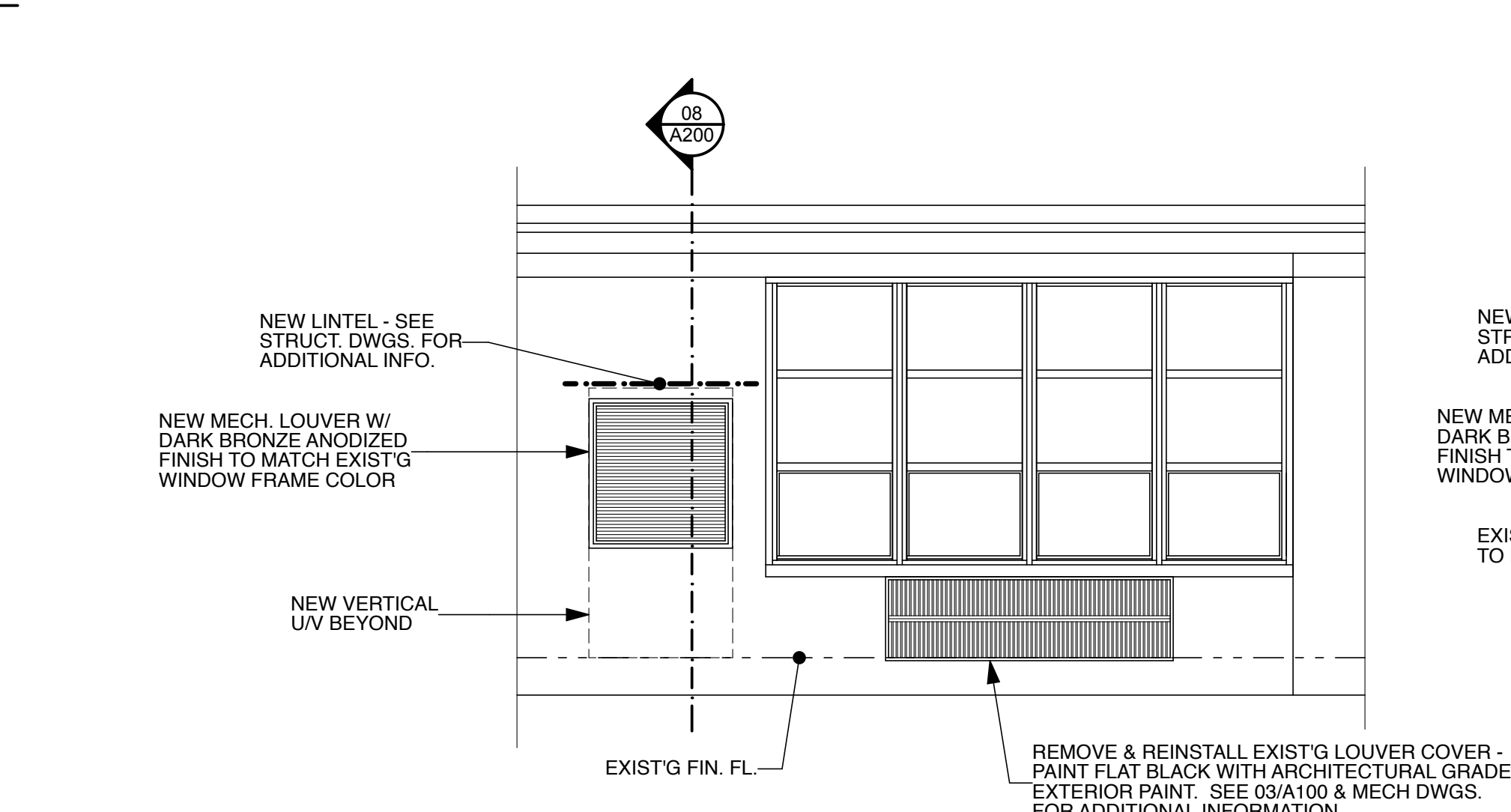


ALT. HEAD DTL. SCALE: 3/4" = 1'-0" **09 A200**

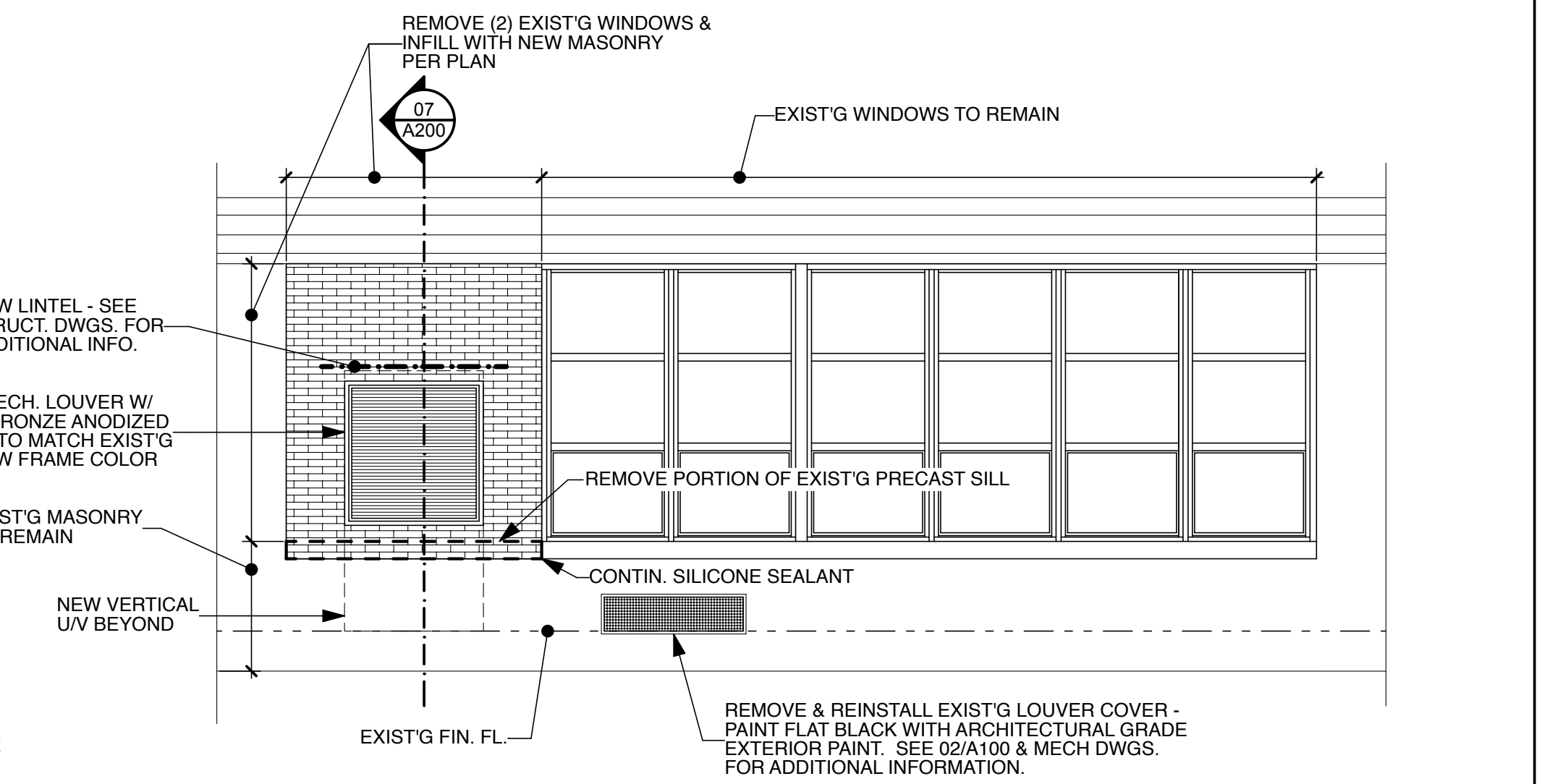


WALL SECTION SCALE: 3/4" = 1'-0" **07 A200**

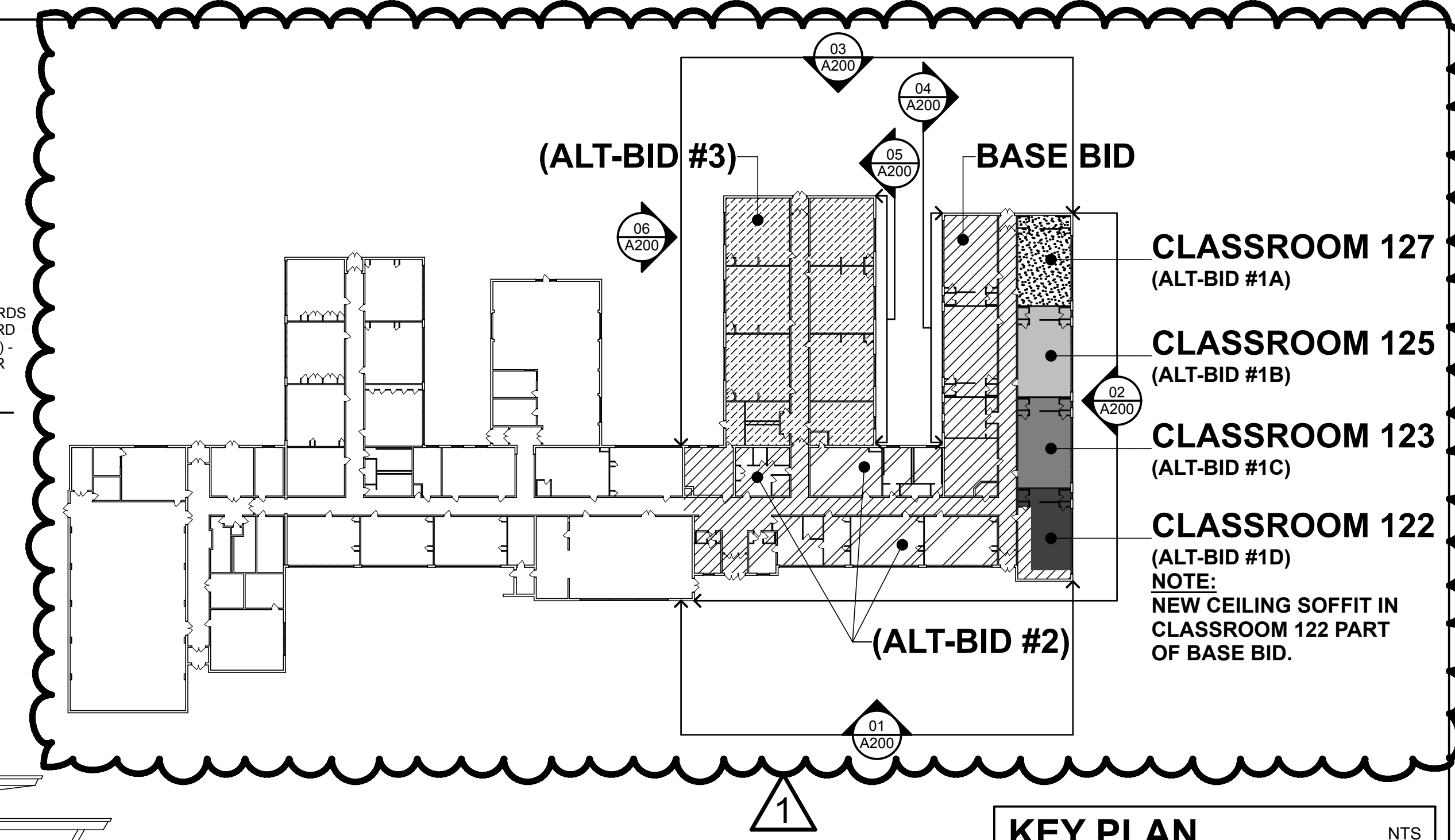
WALL SECTION SCALE: 3/4" = 1'-0" **08 A200**



ENLARGED BUILDING ELEVATION SCALE: 1/4" = 1'-0" **09 A200**



ENLARGED BUILDING ELEVATION SCALE: 1/4" = 1'-0" **10 A200**



KEY PLAN NTS

REGAN YOUNG, AIA
21A00912100

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INDOE SP #891 0-060-21-1000

**PARTIAL HVAC RENOVATION AT:
MARY S. SHOEMAKER ELEMENTARY SCHOOL
LOT 66, BLOCK 27
201 EAST MILL BROOK AVENUE
WOODSTOWN, NEW JERSEY 08098**

TITLE: **BUILDING ELEVATIONS & WALL SECTIONS**

DRAWING DATE: **30 OCT 2020**
REVISION DATE: **27 NOV 2020**

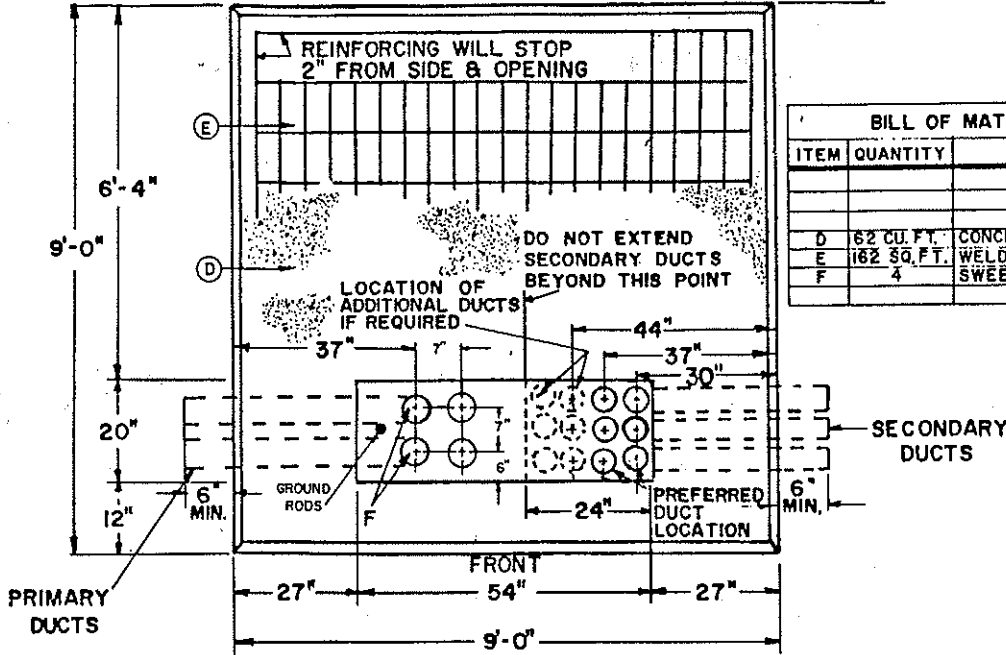
DRAWN BY: **PF**
COMMISSION NO.: **5652Aa**

A200
5 OF 5

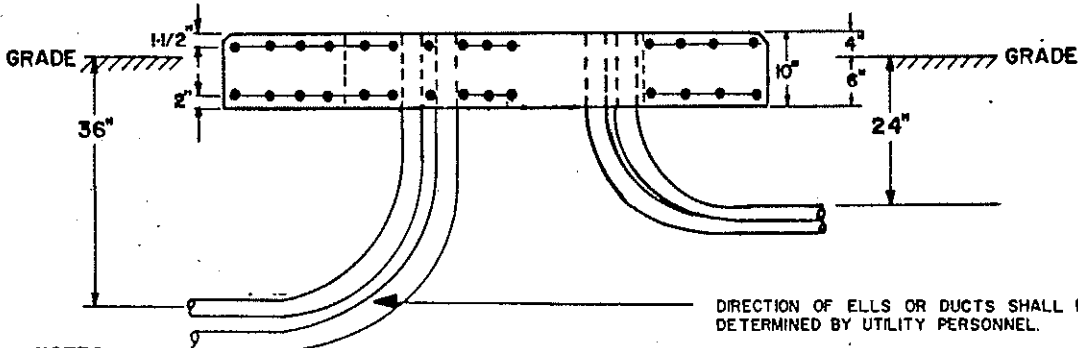
BUILDING WALL

SEE D-145 PAGE 4
FOR BUILDING CLEARANCE

BACK



BILL OF MATERIAL (PROVIDED BY CUSTOMER)		
ITEM	QUANTITY	DESCRIPTION
D	62 CU. FT.	CONCRETE, 3000 PSI
E	162 SQ. FT.	WELDED WIRE FABRIC, 6x6-4/4
F	4	SWEEP ELL 4" 90° 3/8" R, SCHEDULE 40PVC



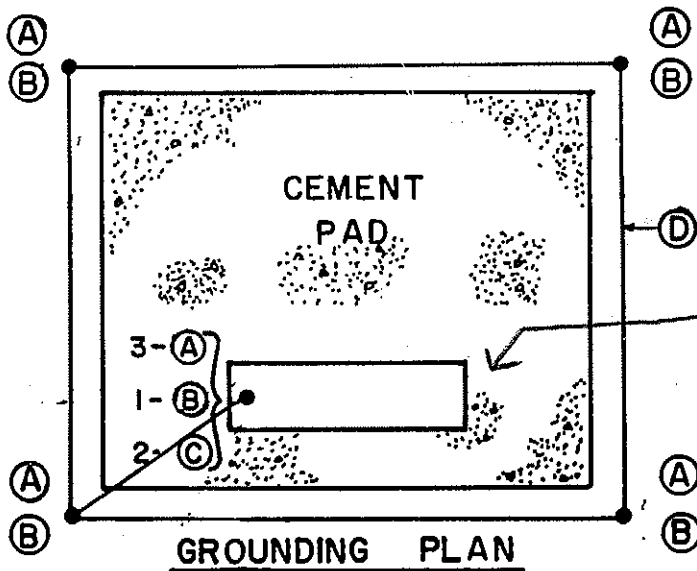
NOTES:

- THIS DRAWING IS PROVIDED FOR THE PURPOSE OF PLANNING CONSTRUCTION-IT IS IMPORTANT TO RECOGNIZE THAT ALL DETAILS SHOWN ARE VARIABLE AND SUBJECT TO CHANGE TO MEET THE REQUIREMENTS OF SPECIFIC TRANSFORMERS.
- ALL H.V. SWEEP ELLS ARE TO EXTEND 6" BEYOND EDGE OF PAD & 36" DEEP.
- ALL CONCRETE SHALL MEET OR EXCEED THE DESIGN AND TEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) MINIMUM STRENGTH OF CONCRETE: 3000 P.S.I.
- ALL PADS SHALL BE REINFORCED WITH 6 X 6 - 4/4 WELDED STEEL WIRE FABRIC. THE SQUARE WELDED WIRE FABRIC SHALL BE INSTALLED TWO (2) INCHES UP FROM THE BOTTOM OF THE SLAB AND (1-1/2) INCHES BELOW THE TOP OF THE SLAB. THE REINFORCEMENT SHALL STOP TWO (2) INCHES FROM THE SIDES AND OPENINGS OF THE PAD.
- ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED AT A 45° ANGLE WITH A 3/4" FLAT SURFACE.
- THE PAD SHALL BE LEVEL AND SHALL EXTEND 4" ABOVE FINISHED GRADE, & BE INSTALLED ON UNDISTURBED OR WELL TAMPED EARTH.
- ALL PRIMARY AND SECONDARY CONDUIT BENDS SHALL BE INSTALLED AND TERMINATED FLUSH WITH THE TOP OF THE TRANSFORMER PAD. THE CENTER OF THE OPENINGS OF THE PRIMARY CONDUIT BENDS SHALL BE SIX (6) INCHES FROM THE FRONT OF THE CONDUIT OPENING.
- WHEN THE PAD IS LOCATED IN AREAS EXPOSED TO VEHICULAR TRAFFIC, A PROTECTIVE BARRIER SHALL BE PROVIDED TO PROTECT THE TRANSFORMER. REFER TO D-146, PAGE 4 FOR DETAILS OF THE BARRIER.
- INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL SAFETY CODE, AND ATLANTIC CITY ELECTRIC COMPANY RULES AND REGULATIONS. SEE D-159 FOR SECONDARY CONNECTIONS.
- PAD TO BE LOCATED 10' MINIMUM ABOVE MEAN SEA LEVEL. (11.7' ABOVE MEAN LOW WATER)
- DUCT WINDOW SHALL NOT BE FILLED WITH CEMENT.

APPROVALS		REVISION		CUSTOMER'S TRANSFORMER PAD FOR 3Ø PAD MOUNT 75KVA TO 2500KVA	
MGR. T.O.D. <i>J.S.S.</i> SUP'T. T.O.D. <i>H.T.C.</i> SUP'T. T.O.D. <i>J.P.</i> DIR. D. ENG. <i>L. Ahmad</i> DIR. T. ENG. <i>H.W.</i>	2/88 ADD NOTE: 10 7/87 GENERAL 2/88 DUCT CHANGES 6/91 GENERAL 5/92 NOTE 10 11/94 REV NOTE 9				
ATLANTIC CITY ELECTRIC COMPANY					
DATE <u>OCT. 84</u>		SCALE - NONE		PAGE 1 OF 4	
				D-158	
				REV. 6	

BILL OF MATERIAL (PROVIDED BY CUSTOMER)

ITEM	QUANTITY	DESCRIPTION
A	7	GROUND ROD: 1/2" x 8' COPPERWELD
B	5	GROUND ROD CLAMP: 1/2"
C	2	GROUND ROD COUPLING
D	44 FT.	No. 4 BARE COPPER WIRE



Doors of Xfmr. are on the same side as the duct window. Window needs to face away from the bldg.

NOTE:

THE GROUNDING LOOP IS TO BE TIED TO THE DRIVEN TRANSFORMER GROUND. ADDITIONAL GROUNDS SHALL BE REQUIRED IF NECESSARY TO REDUCE THE GROUND RESISTANCE TO A VALUE LESS THAN 25 ohms.

SPECIAL NOTE:

DUCT WINDOW SHALL NOT BE FILLED IN WITH CEMENT.

APPROVALS MGR. T.&D. <i>JSS.</i> SUPT. T.&D. <i>HDC</i> SUPT. T.&D. <i>D32</i> DIR. D. ENG. <i>[Signature]</i> DIR. T. ENG. <i>[Signature]</i>		REVISION 2/86 ADD SPECIAL NOTE 7/87 GENERAL 6/91 GENERAL		CUSTOMER'S TRANSFORMER PAD FOR 30 PAD MOUNT 75 TO 2500KVA				
ATLANTIC CITY ELECTRIC COMPANY				DATE OCT. 84	SCALE - NONE	PAGE 2 OF 4	D-158	REV. 3

**HORIZONTAL CLEARANCES
COMBUSTIBLE BUILDINGS**

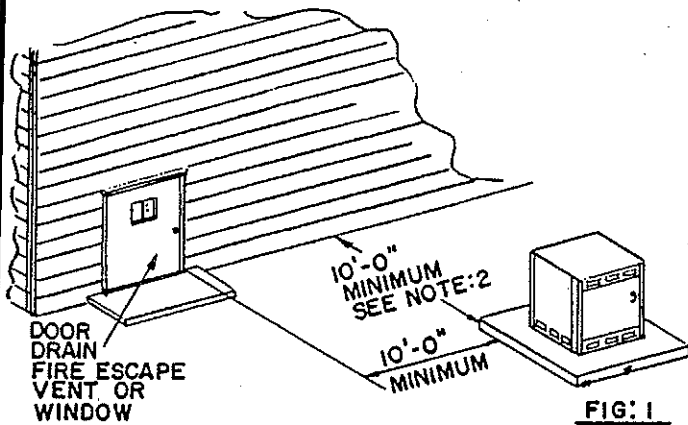


FIG: 1

**VERTICAL CLEARANCES
ALL BUILDINGS**

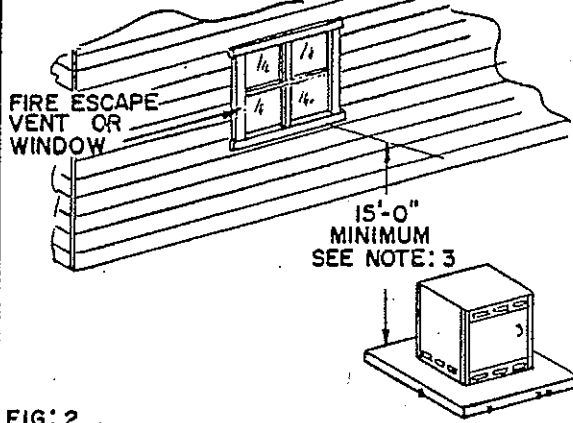


FIG: 2

**HORIZONTAL CLEARANCES
MASONRY BUILDINGS**

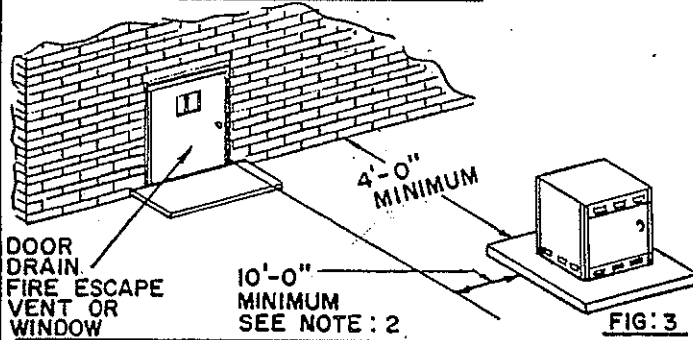


FIG: 3

CRUSHED STONE AND CURB DETAIL

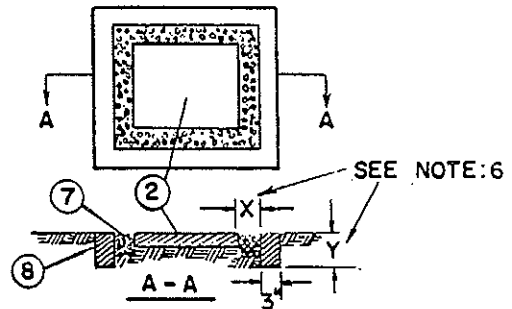
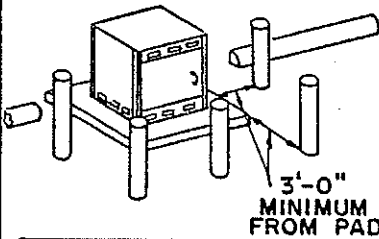


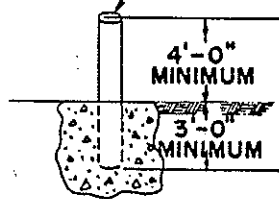
FIG: 4

BUMPER PROTECTION

4" GALVANIZED PIPE
CONCRETE FILLED



3'-0"
MINIMUM
FROM PAD



4'-0"
MINIMUM
3'-0"
MINIMUM

FIG: 5

OIL ENCLOSURE OPTIONS (IF REQUIRED)

(SEE NOTE: 4)

1. FIRE RESISTANT DIKES.
2. CURBED AREAS OR BASINS.
3. TRENCHES FILLED WITH CRUSHED STONE.
4. CRUSHED STONE AND CURB.

APPROXIMATE OIL CAPACITY		
1Ø OVERHEAD TYPE TRANSFORMERS		
DESCRIPTION	GAL.	CU. FT.
10-25 KVA	12	1.6
37-1/2-50 KVA	30	4.0
75-100 KVA	42	5.6
167-333 KVA	60	8.0
500 KVA	95	12.7

NOTES:

1. FIGURES 1-4 ARE PRIMARILY FOR TRANSFORMER INSTALLATIONS. FIGURE 5 APPLIES TO ALL INSTALLATIONS EXPOSED TO VEHICULAR TRAFFIC.
2. MAY BE LESS IF FIRE PROOF BARRIER IS INSTALLED.
3. MAY BE LESS IF PERMANENTLY CLOSED BY MASONRY, BRICK, GLASS BLOCK OR FIRE RESISTANT WIRED GLASS, OR IF HORIZONTAL CLEARANCES IN FIGURE 1 ARE OBTAINED.
4. OIL ENCLOSURES ARE REQUIRED FOR TRANSFORMER INSTALLATIONS ADJACENT TO BUILDINGS OR COMBUSTIBLE MATERIALS UNLESS THE SLOPE OF THE GROUND IS SUCH THAT OIL FROM A RUPTURED TANK CANNOT DRAIN TOWARD THE CRITICAL AREAS.
5. TRANSFORMER NOISE CAN BE MINIMIZED BY ISOLATING THE PAD FROM BUILDING FOUNDATIONS OR MOUNTING THE TRANSFORMER ON ACOUSTIC CUSHIONING MATERIAL. IF RIGID BUS AND DUCT CONSTRUCTION IS USED, FLEXIBLE CONNECTIONS ARE REQUIRED.
6. OIL ENCLOSURE DIMENSIONS MUST BE DETERMINED FROM OIL CAPACITY REQUIRMENTS-SEE CHART WITH FIG. 4.

APPROVALS	REVISIONS NO:
MG'R. T.&E.S. <i>NVA</i>	9/84 NOTE 3 & REMOVE DO NOT USE NOTE
SUPT. T.&D. <i>JAC</i>	
DIST'B. ENG. <i>FEL</i>	

**CUSTOMER'S PAD AND TRANSCLOSURE
LOCATING AND SAFEGUARDING**

ATLANTIC CITY ELECTRIC COMPANY

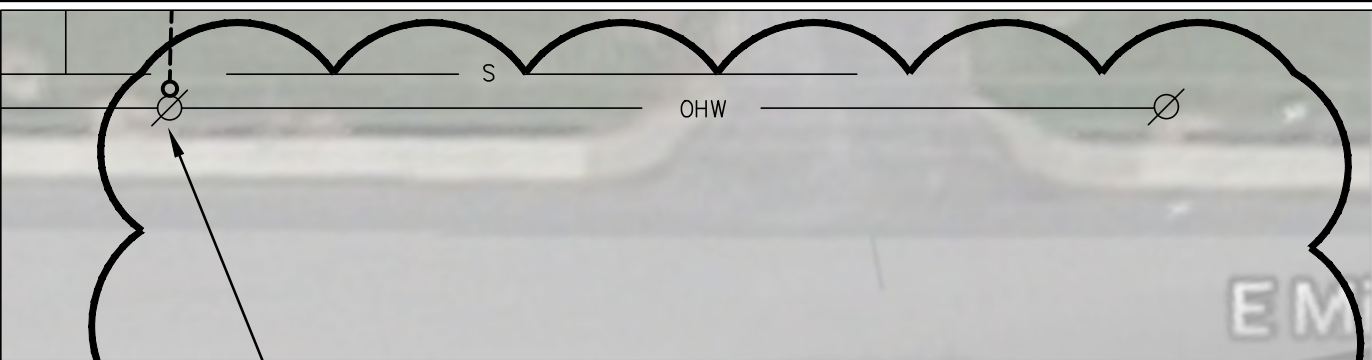
DATE JUNE 6, 1970

SCALE

PAGE 4 OF 4

D-145

REV. 1



PROPOSED ELECTRIC SERVICE RISER ON EXISTING TERMINAL POLE, SEE DETAIL 3/E0.1 FOR SWALE IMAGE AT POLE



3
E0.1

SWALE IMAGE

NOT TO SCALE

NOTES:

1. PROVISIONS MUST BE MADE FOR THE INCOMING PRIMARY CONDUITS OFF THE UTILITY POLE TO SWEEP BELOW THE SWALE.

NJDOE SP #5910-060-21-1000

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REF. DWG. E0.1

SKE-2020-11-30-1